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12.	revise to ICF foundation Aug 19 2020	

General Notes

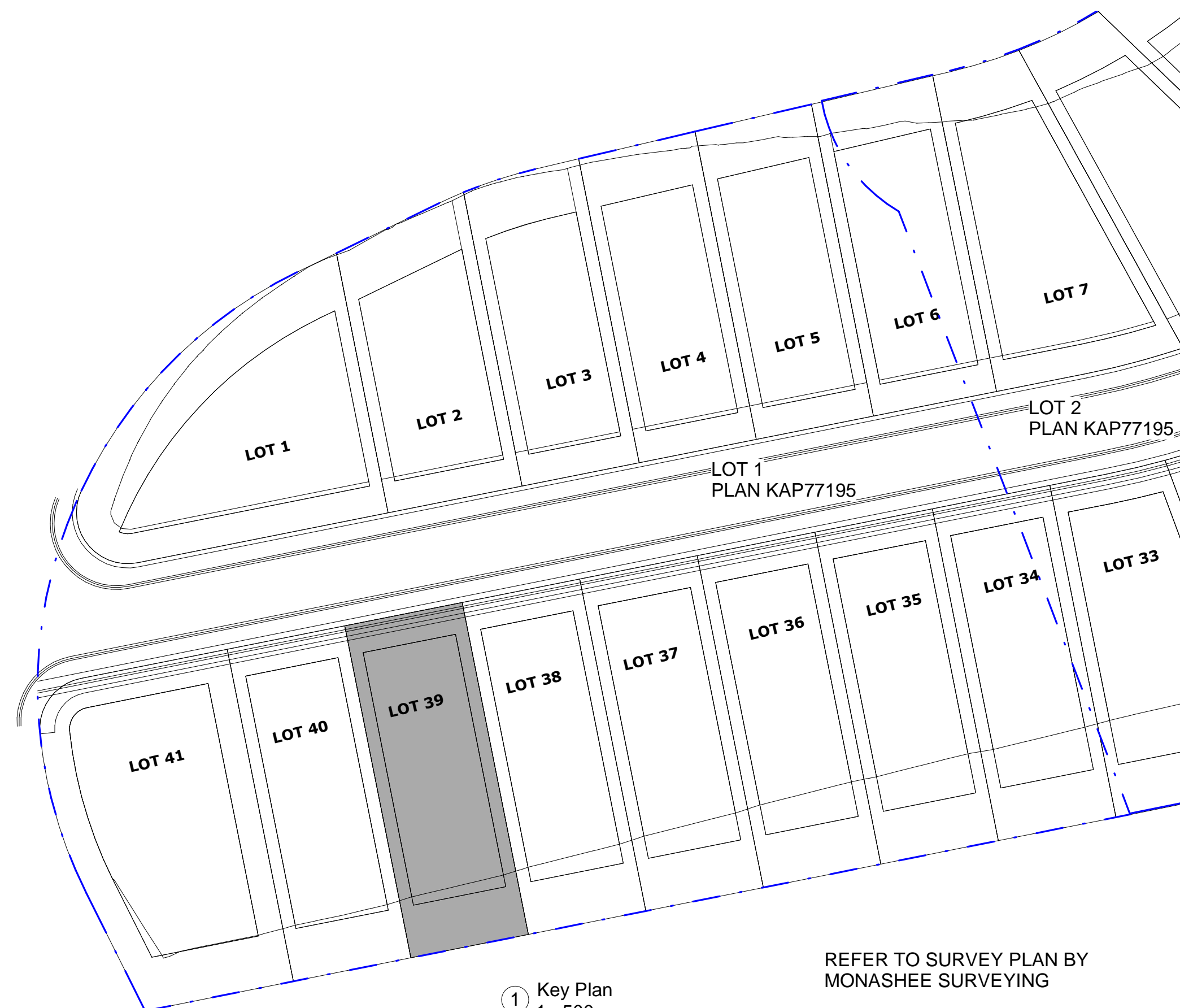
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PARCEL LOT 1 , STRATA LOT 39



① Key Plan
1 : 500

REFER TO SURVEY PLAN BY
MONASHEE SURVEYING
FILE NO: 7015

INDEX

- A000 TITLE SHEET
- A001 CONSTRUCTION ASSEMBLIES
- A101 SITE PLAN
- A201 FOUNDATION AND FOOTING PLAN
- A202 LOWER FLOOR PLAN
- A203 MAIN FLOOR PLAN
- A204 ROOF PLAN
- A401 EXTERIOR ELEVATIONS
- A501 BUILDING CROSS SECTIONS
- A601 HEAD, JAMB, AND SILL DETAILS
- A602 MISC. DETAILS



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The Seasons
Development,
Vernon BC Lot
39 - (Ponderosa)

Title Sheet

ISSUE FOR:

- REVIEW AND COMMENT DEC 31 2019
- BUILDING PERMIT JUNE 04 2020

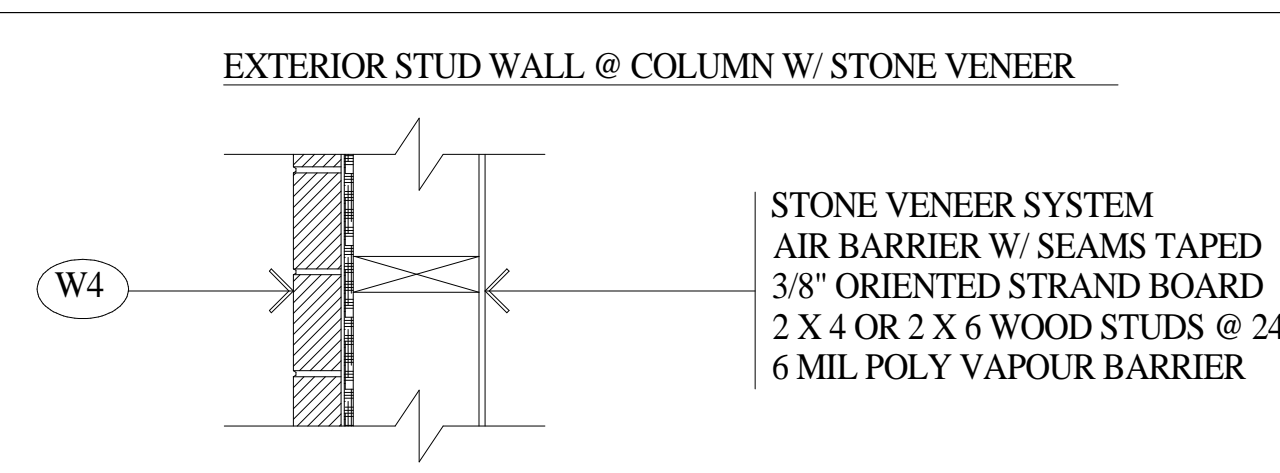
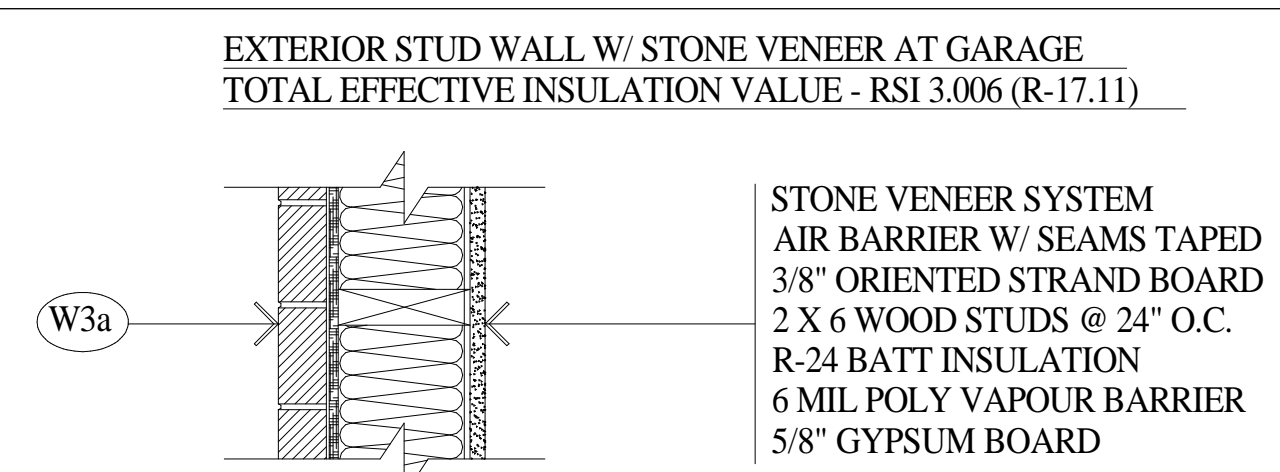
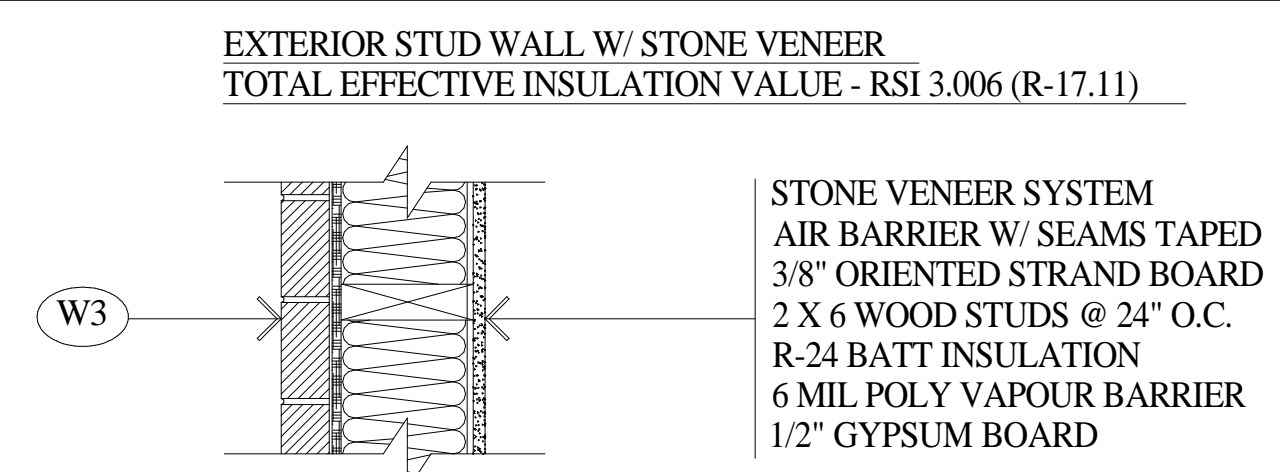
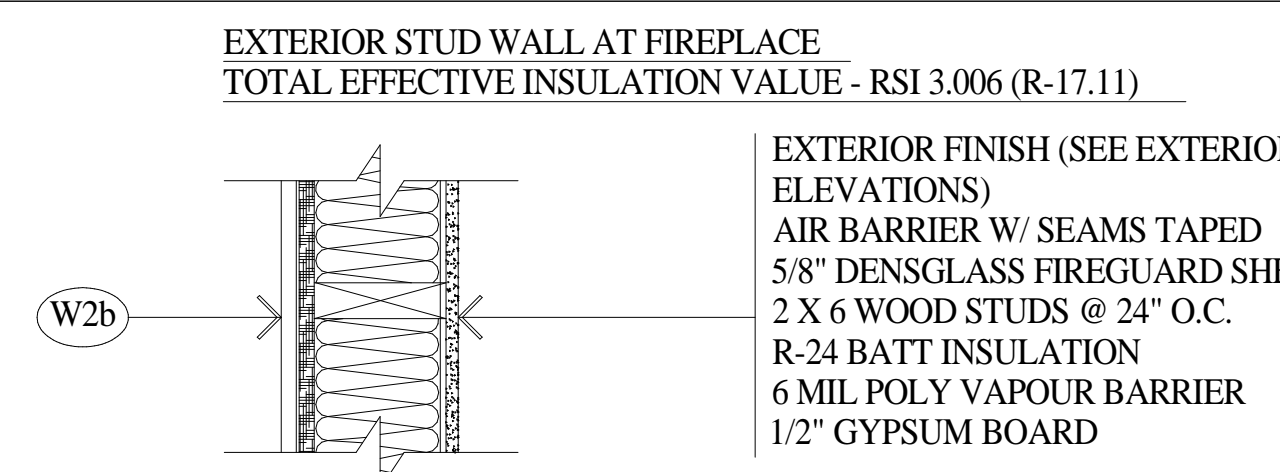
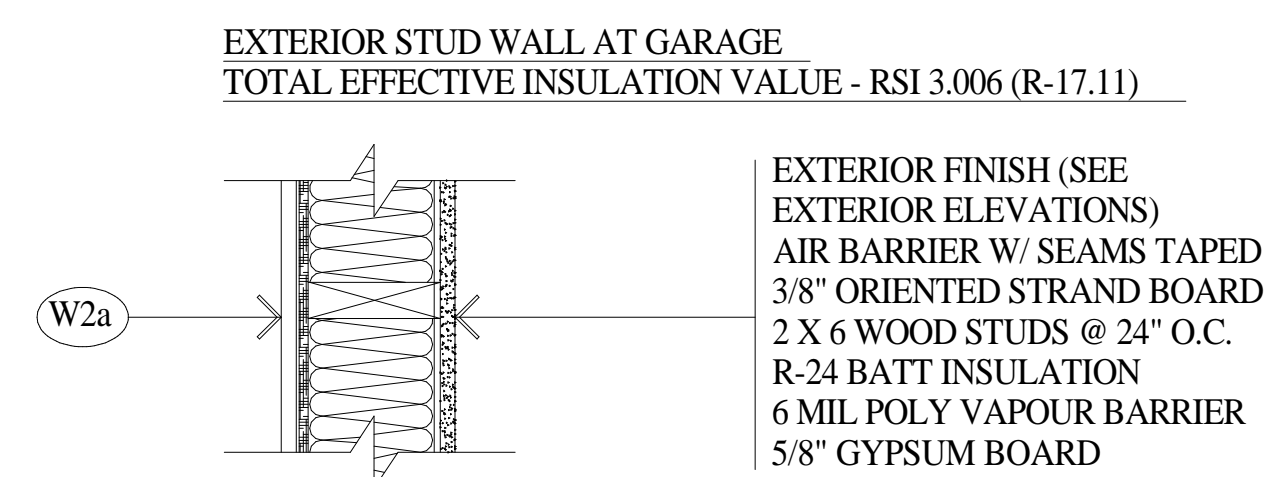
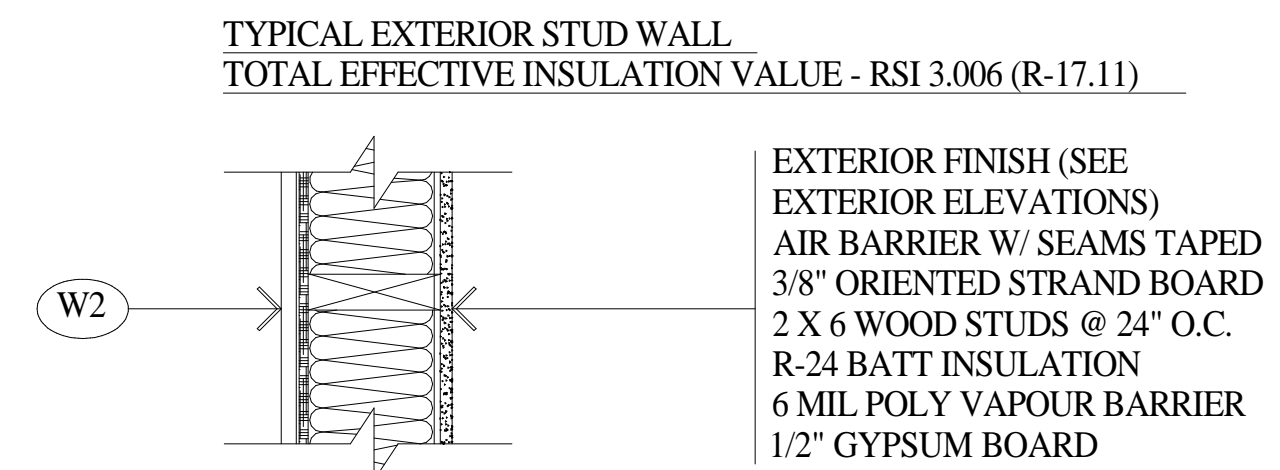
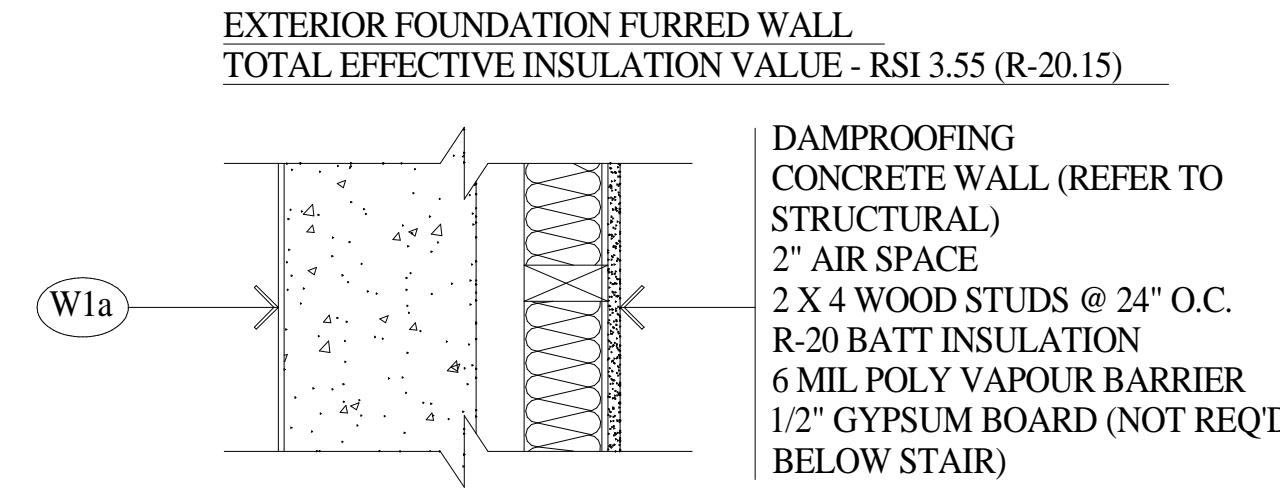
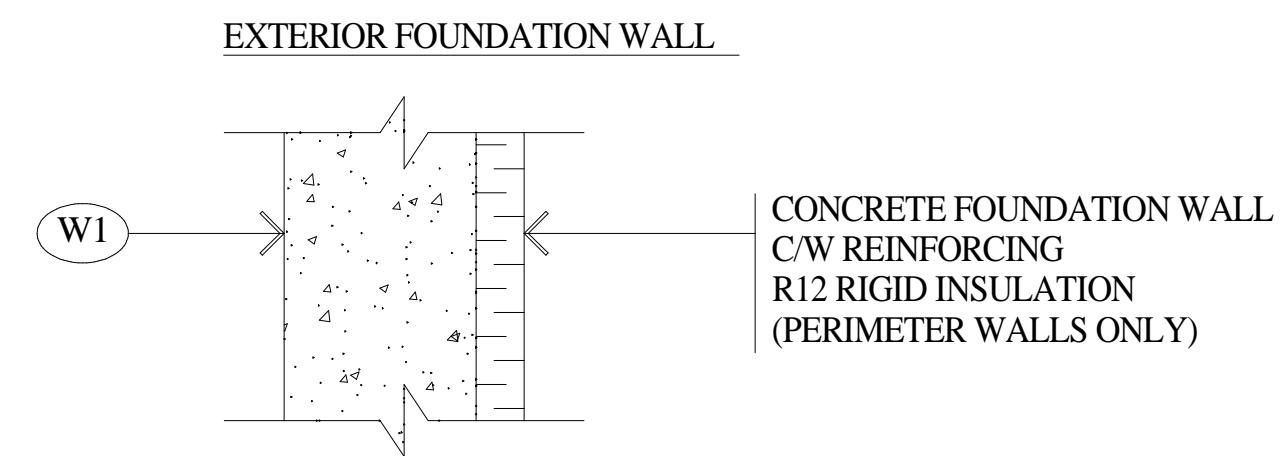
Date	Aug 19 2020
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Project No.	1935
Scale	As indicated

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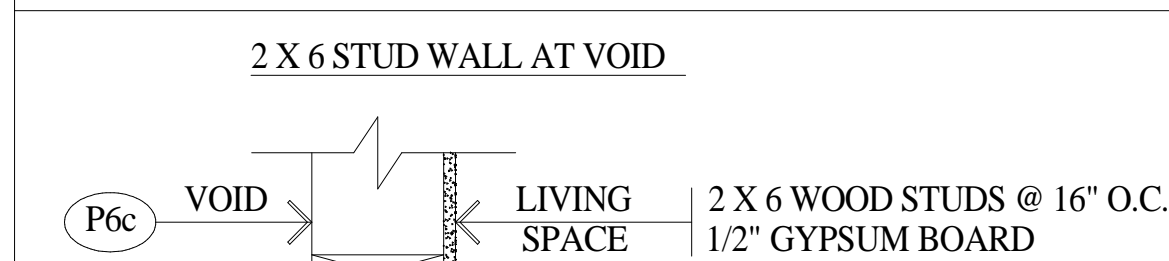
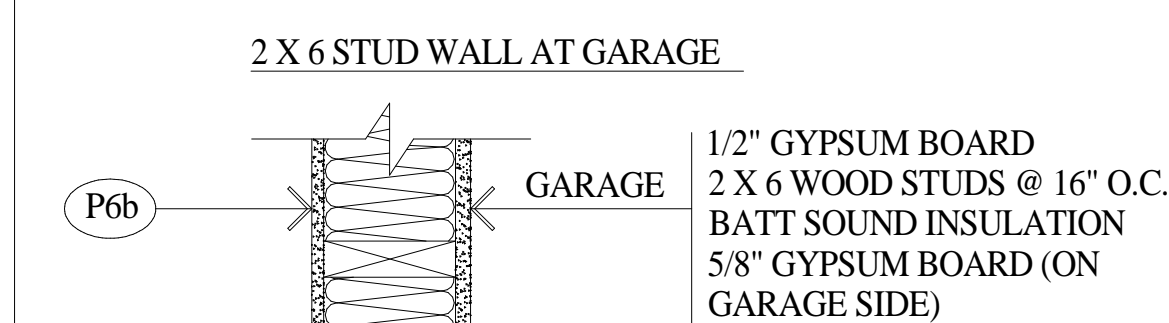
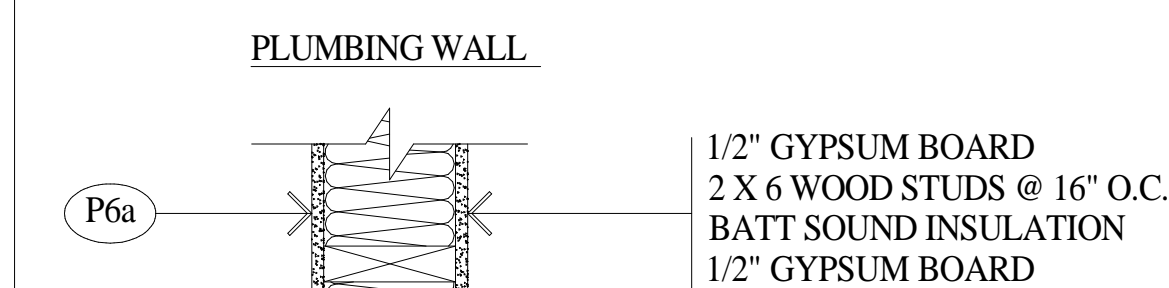
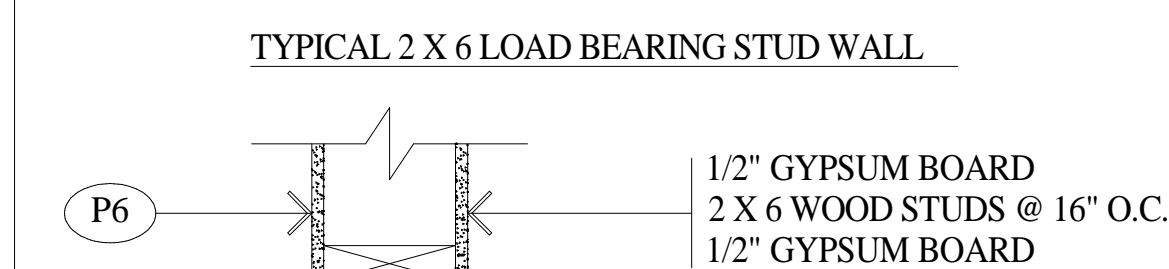
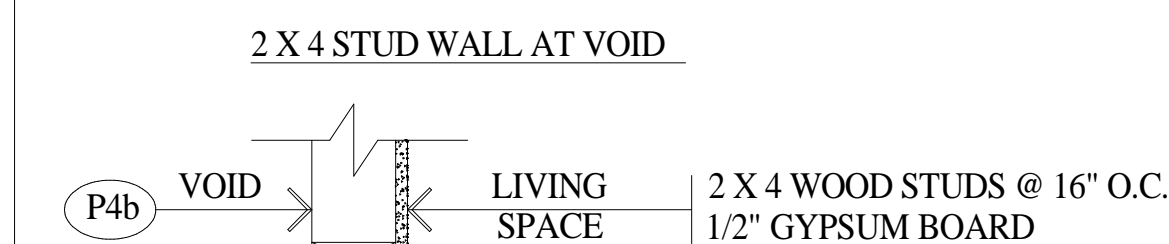
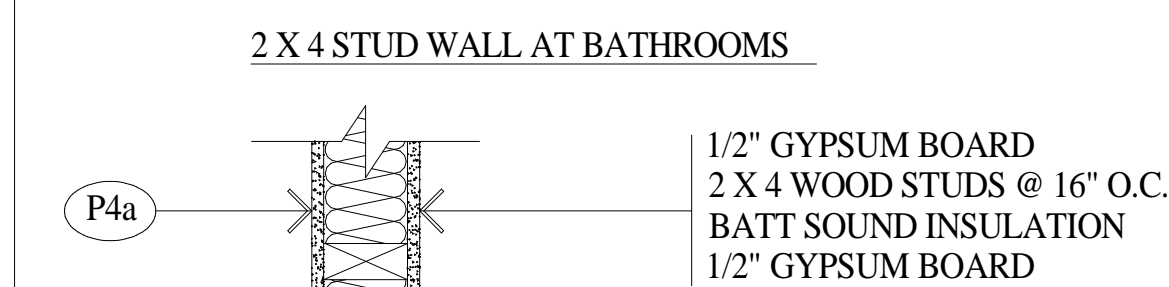
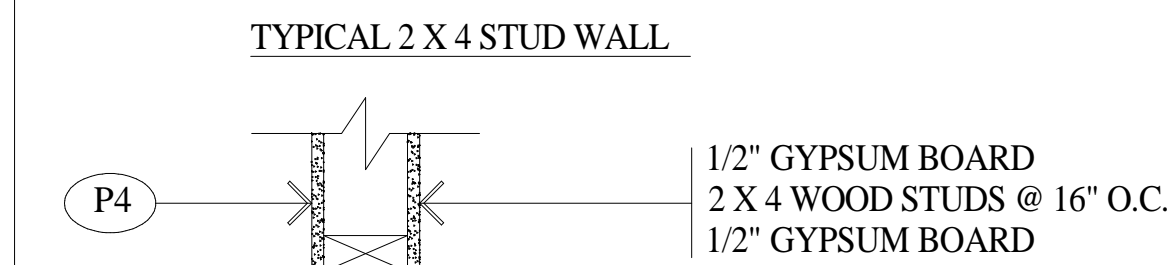
EXTERIOR WALL TYPES



WALL - GENERAL NOTES

- ALL GYPSUM BOARD TO BE FASTENED AT 8" O.C. AROUND PERIMETER AND 12" O.C. WITHIN PANEL FIELD
- PROVIDE CONTINUOUS PERIMETER SILL GASKET AT ALL EXTERIOR WALL LOCATIONS.
- ALL AREAS TO RECEIVE CERAMIC TILE FINISH TO HAVE 1/2" MOISTURE RESISTANT GYPSUM BOARD IN LIEU OF 1/2" GYPSUM BOARD. COORDINATE WITH INTERIOR DESIGN PRIOR TO COMMENCEMENT OF WORK. FIRE RESISTANCE RATINGS INDICATED BY WALL TYPE MUST BE MAINTAINED.
- REFER TO STRUCTURAL FOR SUPPORTING WALL INFORMATION.

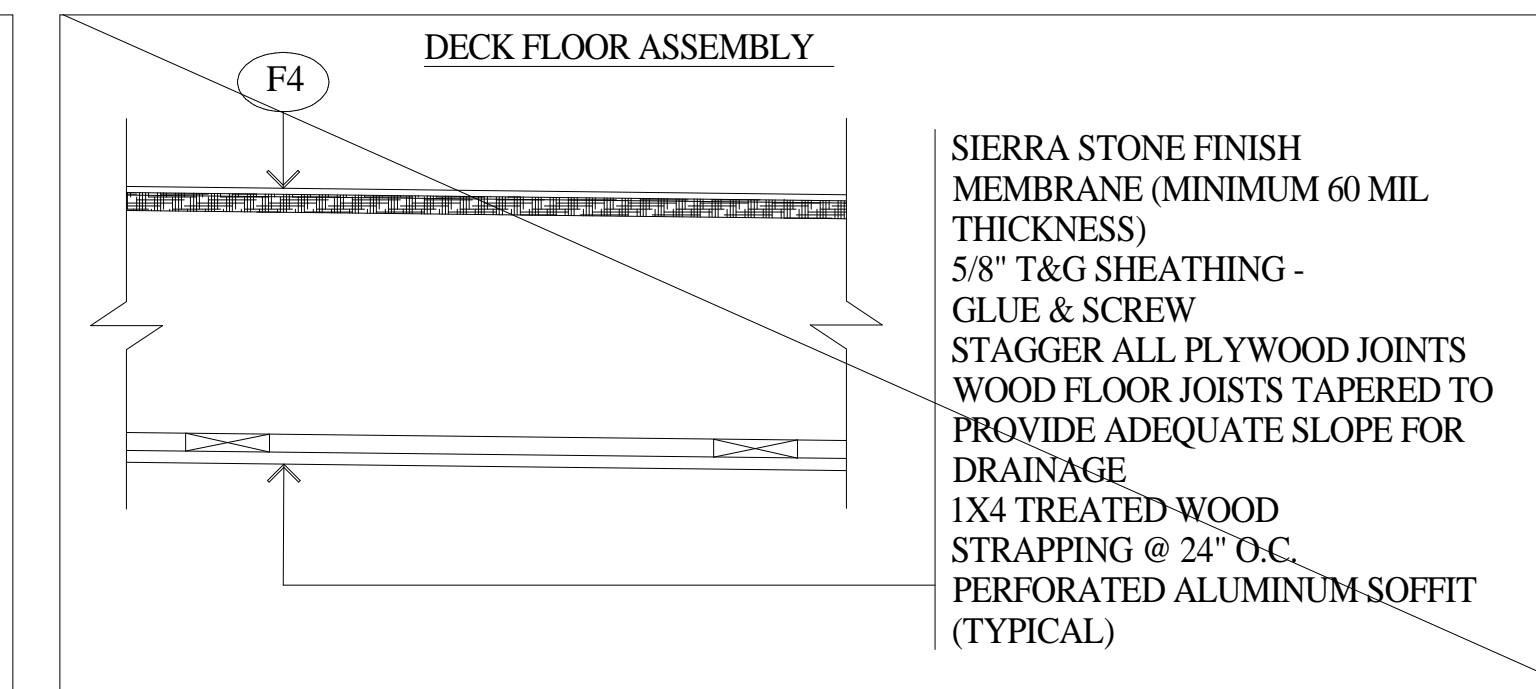
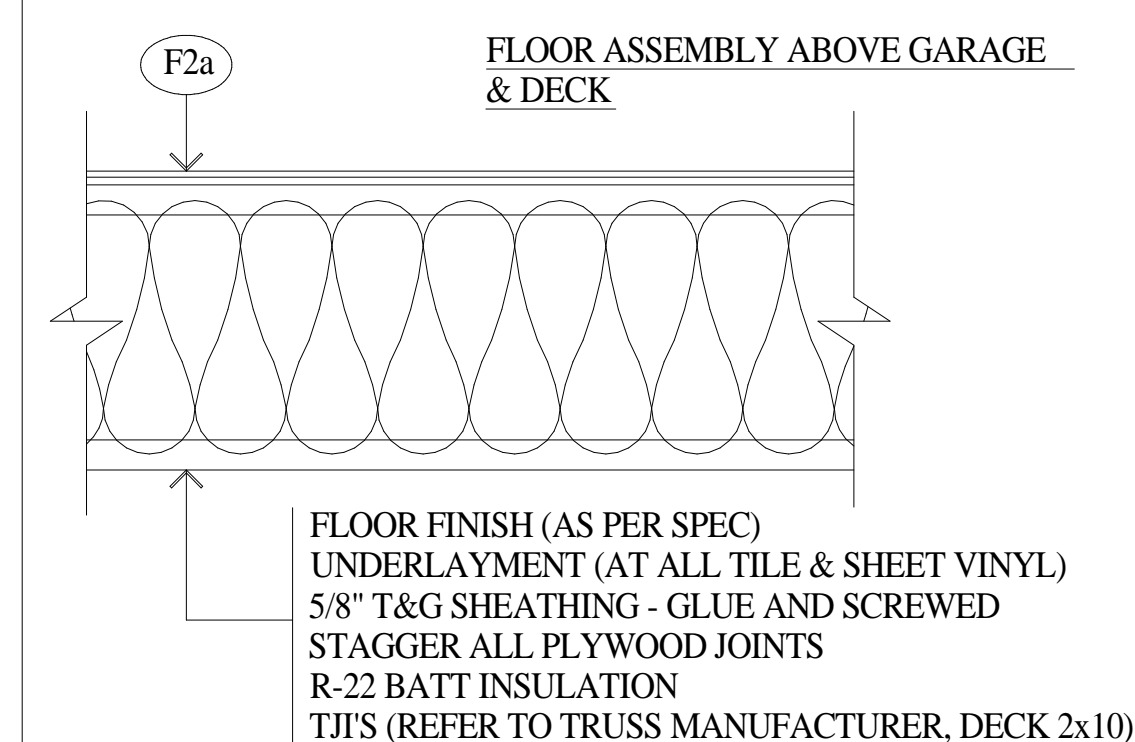
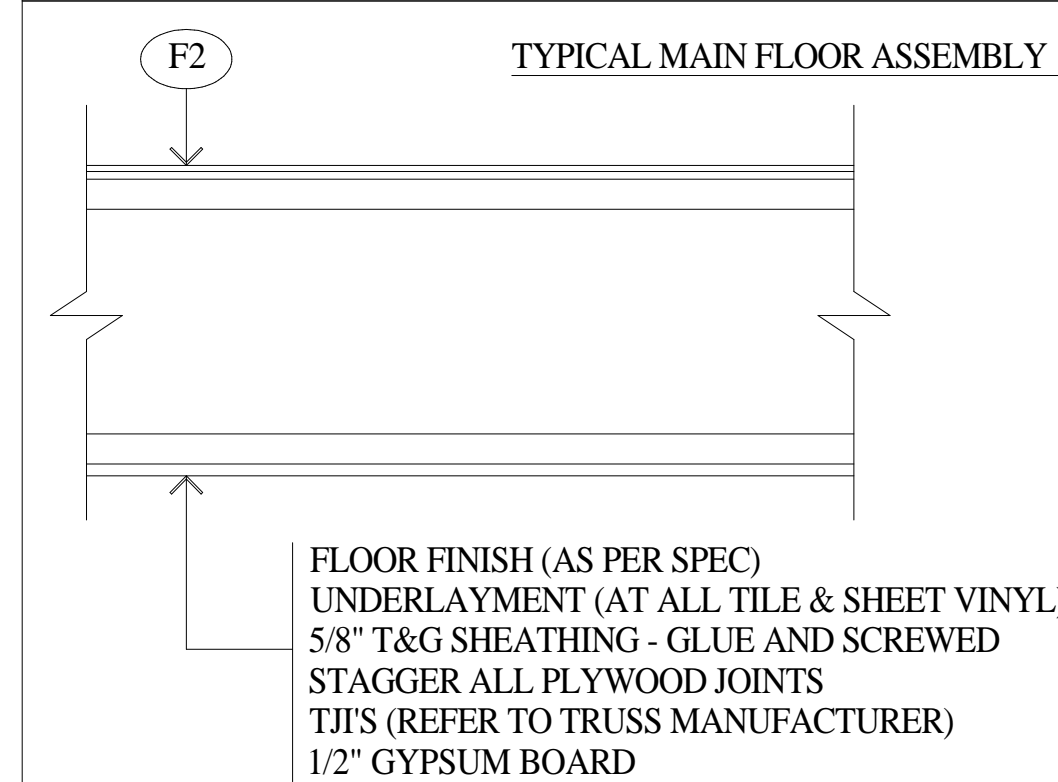
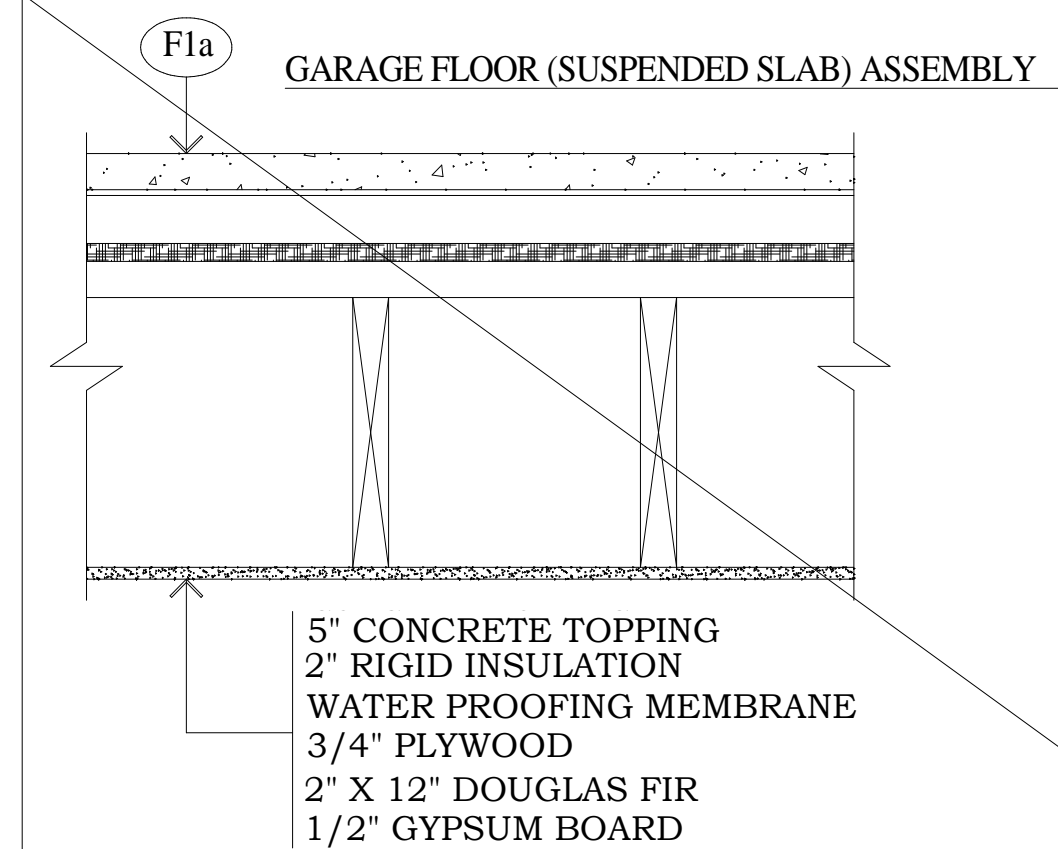
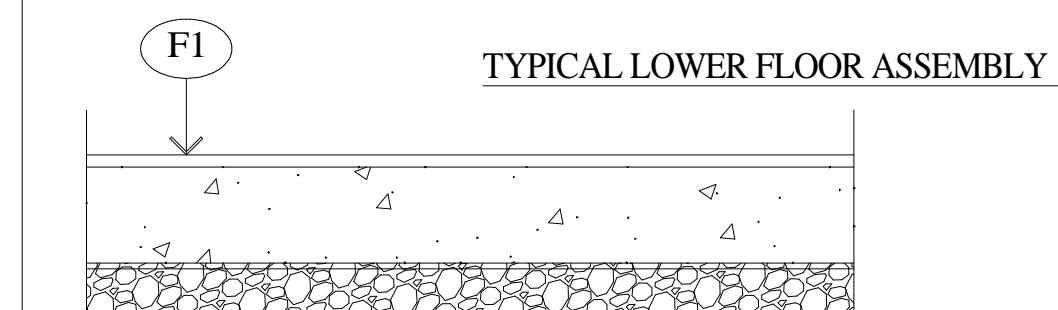
INTERIOR PARTITION TYPES



FLOOR - GENERAL NOTES

- SUBFLOOR MUST BE CLEAN AND DRY.
- FOR WOOD SUBFLOOR, REPAIR ANY LOOSE AREAS OR SQUEAKS.
- THE SUBFLOOR MUST BE LEVEL TO WITHIN 3/16" IN 10 FEET. SAND HIGH AREAS OR JOINTS; FILL LOW AREAS (NO MORE THAN 1/8" WITH A 'CEMENT TYPE' FILLER NO LESS THAN 3000 p.s.i.)
- CONCRETE SUBFLOORS SHOULD HAVE A MOISTURE CONTENT BELOW 3%, WOOD SUBFLOORS SHOULD BE BELOW 10%.
- CONCRETE SUBFLOORS SHOULD BE TESTED IN SEVERAL AREAS; ESPECIALLY NEAR EXTERIOR WALLS AND WALLS CONTAINING PLUMBING.
- RADIANT HEATED FLOORS CANNOT EXCEED 85 DEGREES FAHRENHEIT.

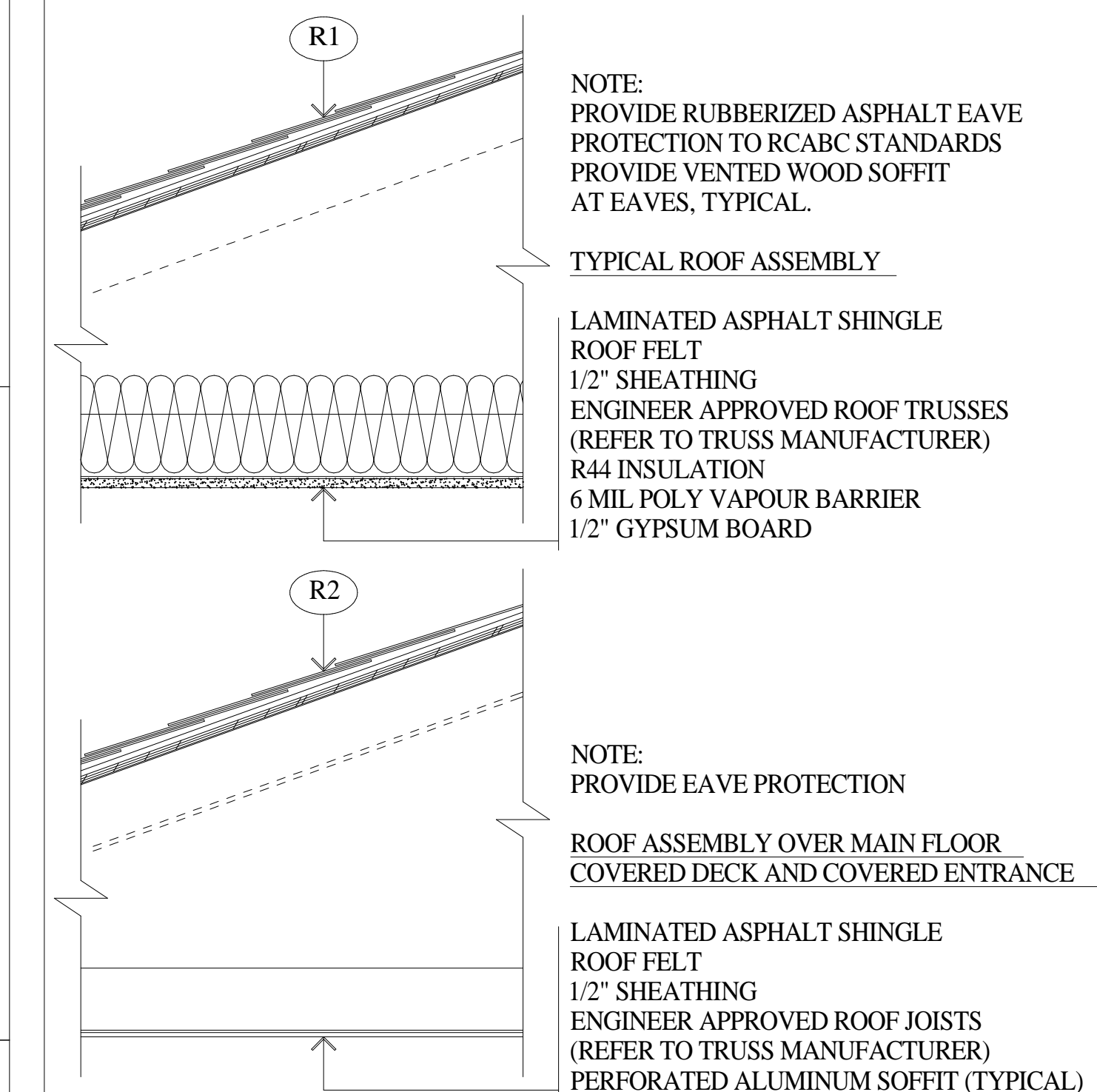
FLOOR TYPES



ROOF - GENERAL NOTES

- CONFORM TO RCABC GUIDELINES
- PROVIDE STAINLESS STEEL FASTENERS FOR ALL TREATED WOOD SECUREMENT.
- PROVIDE ONE LAYER MODIFIED BITUMEN MEMBRANE BETWEEN ALL TREATED WOOD MEMBERS AND GALVANIZED OR PRE-FINISHED METAL PRODUCTS, WHERE APPLICABLE.

ROOF TYPES



GUARDRAIL - GENERAL NOTES

BC BUILDING CODE 2006, PART 4:

4.3.6. GLASS

4.3.6.1. DESIGN BASIS FOR GLASS

1. GLASS USED IN BUILDINGS SHALL BE DESIGNED IN CONFORMANCE WITH CAN/CGSB-12.20-M, "STRUCTURAL DESIGN OF GLASS FOR BUILDINGS."

CAN/CGSB 12.20-M89

STRUCTURAL DESIGN OF GLASS FOR BUILDINGS

7. SPECIAL GLASS REQUIREMENTS

7.1. GLASS GUARDS AND BALUSTRADE - GLASS GUARDS AND BALUSTRADE SHALL BE AS SPECIFIED IN THE NATIONAL BUILDING CODE OF CANADA, AND THE FOLLOWING SHALL APPLY;

- THE LOAD SHALL BE APPLIED AT A HEIGHT NOT LESS THAN 1070mm (42").
- ANY FREE STANDING GLASS GUARD SHALL BE CAPPED BY A RAIL WHICH IS CONTINUOUS OVER TWO OR MORE LIGHTS. THE GLASS GUARD SHALL RESIST THE FACTORED DESIGN LOAD AFTER FAILURE OF ALTERNATE LIGHTS.
- TESTS USED TO DEMONSTRATE STRENGTH SHALL BE CARRIED OUT WITH ALTERNATE LIGHTS REMOVED.
- THE DEFLECTION OF THE GUARD AT THE POINT OF APPLICATION OF THE LOAD SHALL NOT BE GREATER THAN 40mm (1 1/2"); DEFLECTIONS SHALL BE DETERMINED WITH NO GLASS FAILED OR REMOVED AS PER PAR.7.1 c. (FOR ADDITIONAL COMMENTS ON THE DESIGN OF GUARDS SEE APPENDIX A).

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E: jacob@evertonridge.ca

The Seasons
Development,
Vernon BC Lot
39 - (Ponderosa)

Construction
Assemblies

Date	Aug 19 2020
Drawn by	cr
Project No.	1935
Scale	1 1/2" = 1'-0"

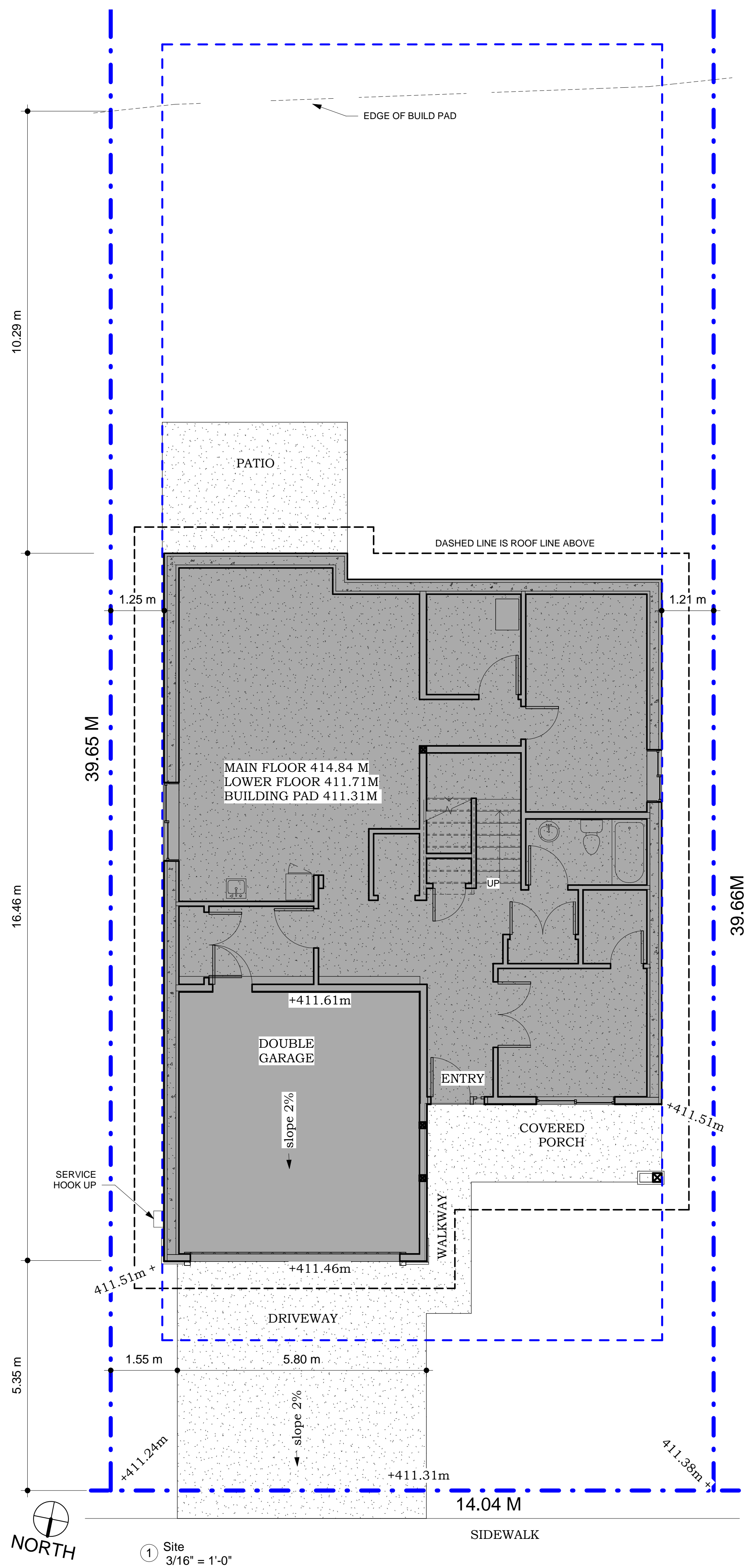
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SYMBOL LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DENOTES LOCATION OF BANK
	CONSTRUCTION NOTE
	EXPOSED AGGREGATE CONCRETE DRIVEWAY AND WALKWAY

LEGAL DESCRIPTION
PARCEL LOT 1, STRATA LOT 39
CIVIC ADDRESS
THE SEASONS DEVELOPMENT, VERNON BC

ZONING
R4 - SMALL LOT RESIDENTIAL

ITEM	PERMITTED	PROVIDED
HEIGHT	10.0M OR 2.5 STOREYS	(8.39M) 2.0 STOREYS
LOT AREA (GROSS)		556.73M2
LOT AREA (NET)		556.73M2
SITE COVERAGE (IMPERMEABLE) (BUILDINGS AND IMPERMEABLE PAVING)	50%	41%
BUILDING SITE COVERAGE	40%	30%
SETBACKS		
FRONT YARD	3.50M	5.35M
SIDE YARD (R)	1.20M	1.21M
SIDE YARD (L)	1.20M	1.25M
REAR YARD	6.00M	10.29M (TO EDGE OF PAD)

SITE COVERAGE

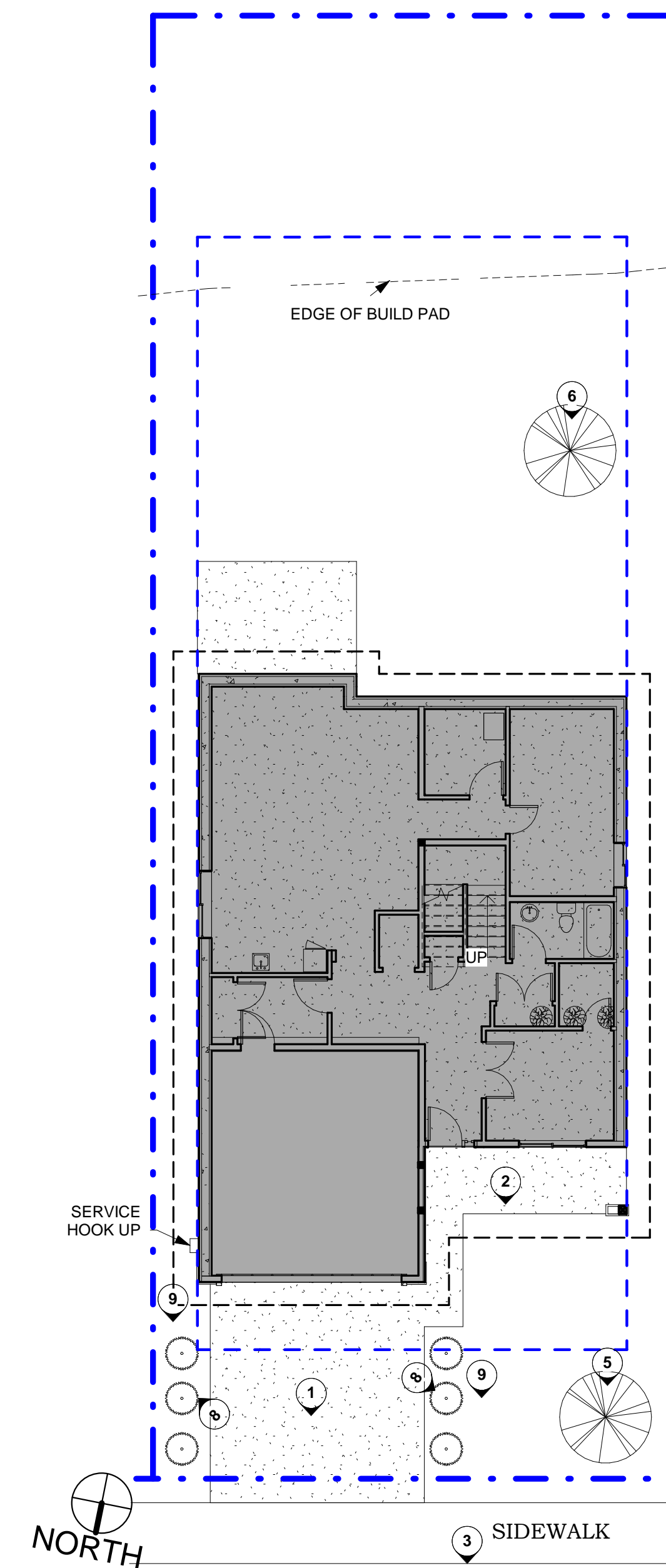
TOTAL BUILDING COVERAGE		166.59M2
LOT AREA (NET)		556.73M2
SITE COVERAGE RATIO	(166.59/556.73)	0.30
SITE COVERAGE		
TOTAL BUILDING AND IMPERMEABLE PAVING COVERAGE		227.62M2
LOT AREA (NET)		556.73M2
SITE COVERAGE RATIO	(227.62/556.73)	0.41

PARKING

TYPE OF UNIT	STALLS REQUIRED	STALLS PROVIDED
RESIDENTIAL LOTS	2 STALLS/ DWELLING	2 STALLS
TOTAL PARKING	2 STALLS	2 STALLS (MIN.)

BCBC - 3.2.3.1 - FIRE SEPARATION

THE SEASONS DEVELOPMENT IS WITHIN 10 MIN FIRE DEPARTMENT RESPONSE TIME = NON - SPRINKLERED



LANDSCAPE NOTES

- 30% OF FRONT YARD TO BE SHRUBS, GRASSES AND GROUND COVER
- 40% MAX. OF FRON TYARD TO BE HARD SURFACE
- DRIP IRRIGATION SYSTEM TO BE INSTALLED (IF SYNTHETIC LAWN)
- OTHERWISE SORAY HEADS LIMITED TO SOD AREA
- PLANT LIST TO BE DETERMINED (TO FOLLOW DEVELOPERS' DESIGN GUIDLINE REQ.)

SIDE YARD ACCESS TO REAR YARD IS TO BE GRADUALLY SLOPED TO MATCH NEIGHBOURING LOTS

GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR ROAD SUB SURFACE AND ASPHALT REQ.
2. ELEVATIONS TO BE CONFIRMED ON SITE

CONSTRUCTION NOTES

- 1 DRIVEWAY - EXPOSED AGGREGATE
- 2 WALKWAY - EXPOSED AGGREGATE
- 3 CURB AND SIDEWALK
- 4 RETAINING WALL
- 5 STREET TREE (LOCATED 1.5M FROM FRONT PROPERTY LINE)
- 6 SHADE TREE
- 7 ORNAMENTAL TREE
- 8 SHRUBS AND GRASSES
- 9 ROCK MULCH
- 10 RETAINING WALL FENCE LINE

2 Landscape Plan
3/32" = 1'-0"

1 Site
3/16" = 1'-0"

Builder:

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The Seasons
Development,
Vernon BC Lot
39 - (Ponderosa)

Site Plan

Date	Aug 19 2020
Drawn by	CR
Project No.	1935
Scale	As indicated

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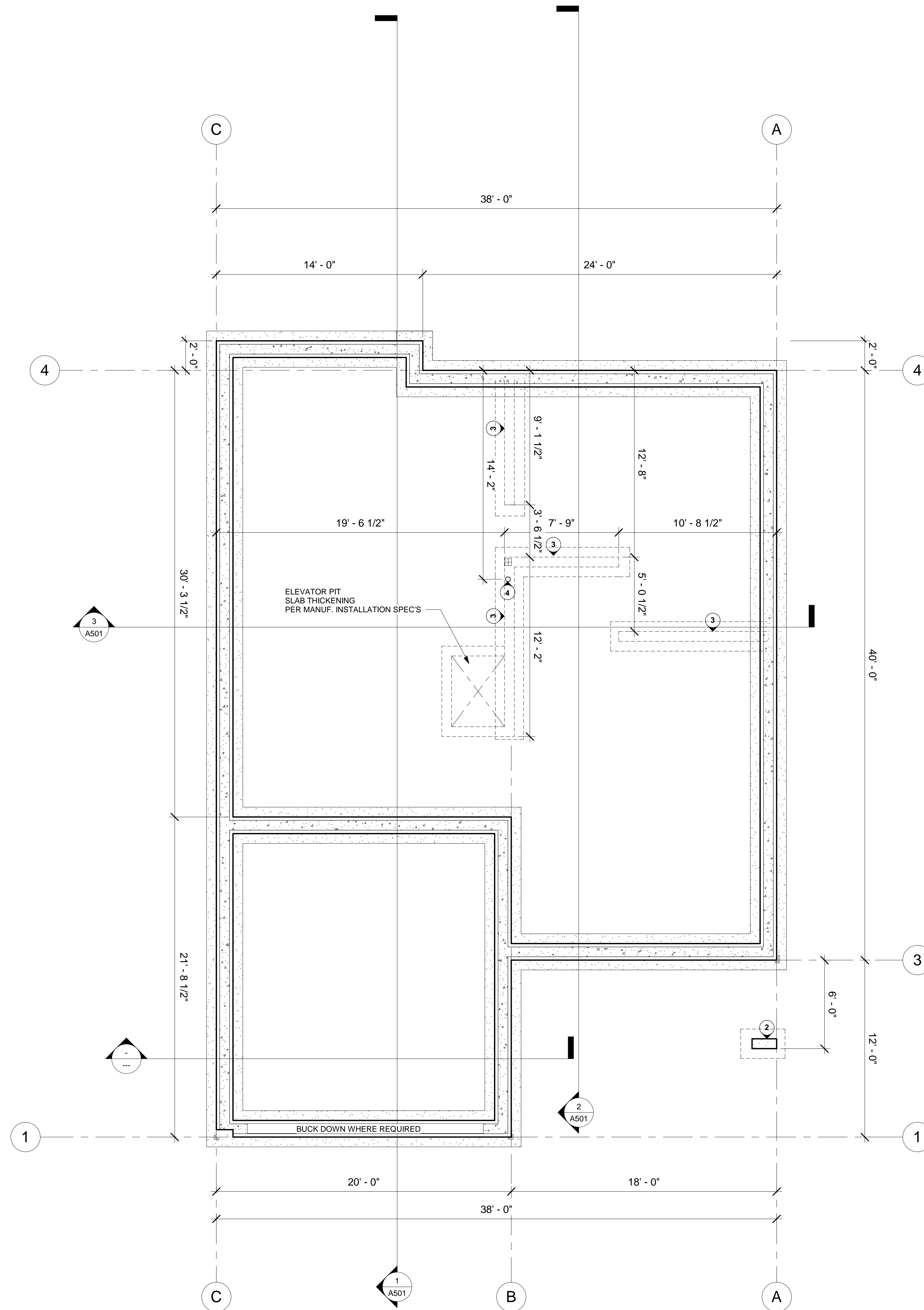
The Seasons
Development,
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Foundation and
Footings Plan

Date	Aug 19 2020
Drawn by	cr
Project No.	1935
Scale	1/4" = 1'-0"

A201

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SYMBOL LEGEND

CONCRETE WALL - SEE DRAWING A001 FOR WALL CONSTRUCTION DETAIL

1 CONSTRUCTION NOTE

A BUILDING CROSS SECTION NUMBER
A501 SHEET NUMBER

GENERAL NOTES

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD / FACE OF CONCRETE UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ON FOUNDATION PLAN ARE STRICTLY FOR REFERENCE ONLY. REFER TO STRUCTURALLY DRAWINGS AND SITE CONFIRM FOR ACCURATE DIMENSIONS
- BASEMENT - 4" CONC SLAB, 6 MIL POLY VAPOUR BARRIER, 5' COMPACTED SAND AND GRAVEL
- PLACE FOOTING ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION
- FOUNDATION WALLS SHOULD NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS 28TH DAY STRENGTH
- FOUNDATION WALLS TO BE DESIGNED BY ENGINEER. THE REINFORCING BARS ARE TO BE SITUATED SO THAT THERE IS NO LESS THAN 3" CONCRETE CLEARANCE
- GRADES SHOWN ARE ESTIMATED AND SHOULD BE CONFIRMED WITH SITE SURVEY
- LOCATED POINT LOAD FOOTINGS ACCORDING TO MAIN FLOOR POINT LOADS A PER FLOOR FRAMING PLANS SUPPLIED BY OTHER
- REFER TO TABLE 9.12.2.2. OF THE NATIONAL BUILDING CODE AND CONSULT WITH LOCAL REQUIREMENTS FOR ACCEPTED STANDARDS. SOIL TESTS TO BE CARRIED OUT TO CONFIRM FOOTINGS AND BASEMENT WALL DESIGN.

CONSTRUCTION NOTES

1 CONCRETE PIER (SIZE TO BE CONFIRMED BY STRUCTURAL)

2 CONCRETE PAD FOOTING (SIZE TO BE CONFIRMED BY STRUCTURAL)

3 THICKENED STRIP FOOTING. LOCATION TO BE CONFIRMED WITH LOCATION OF WALL ABOVE (REFER TO DRAWING A202)

4 RADON GAS VENT LOCATION

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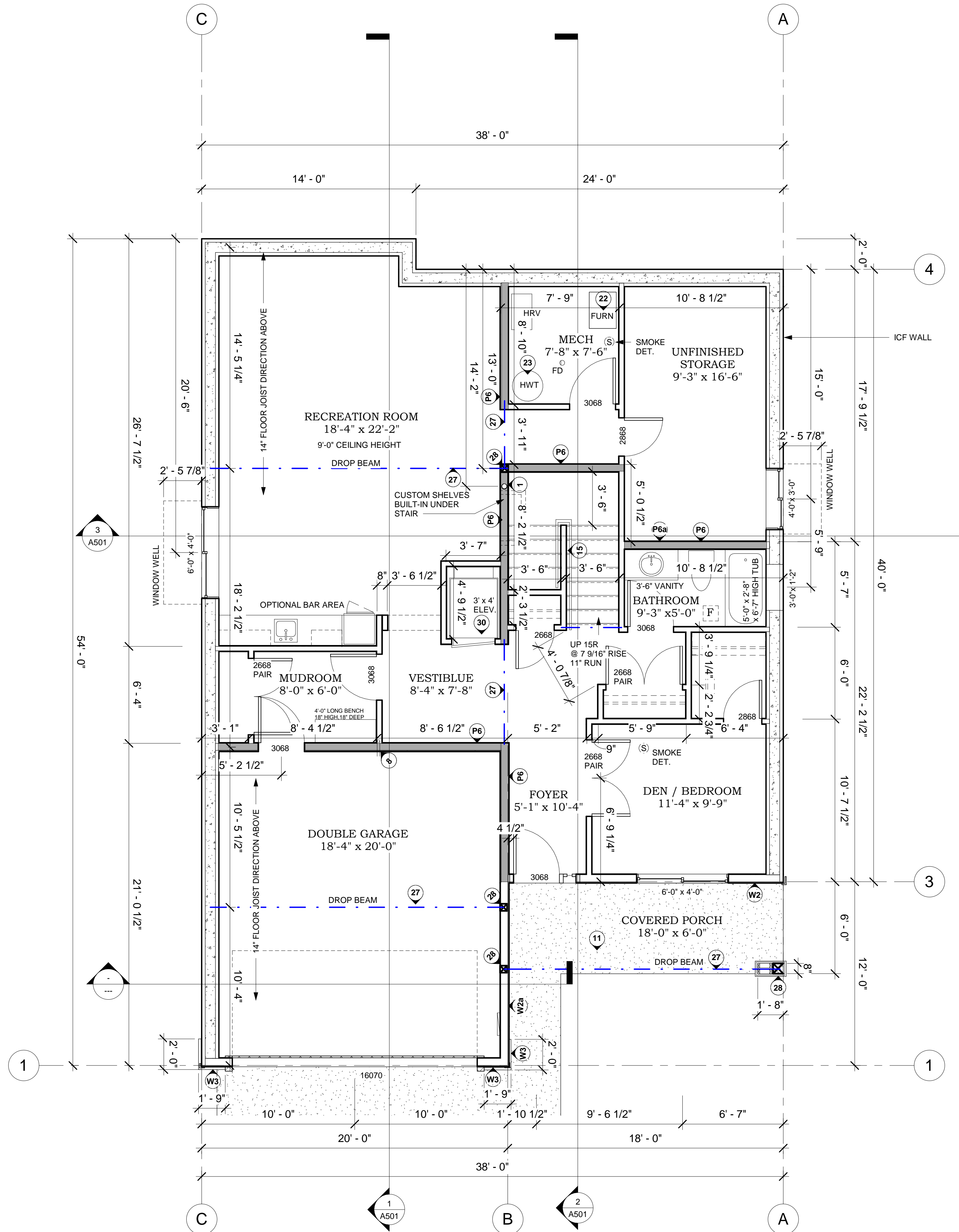
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The Seasons Development,
Vernon BC Lot 39 - (Ponderosa)

Entry Level (Garage) Floor Plan

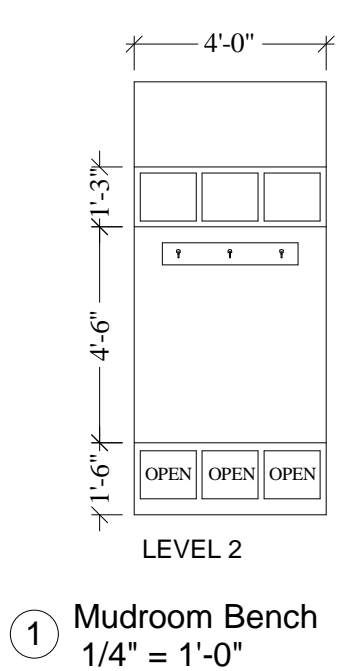
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- SYMBOL LEGEND**
- STUD WALL - SEE DRAWING A001 FOR WALL CONSTRUCTION DETAIL
 - CONCRETE WALL - SEE DRAWING A001 FOR WALL CONSTRUCTION DETAIL
 - DENOTES 8'-0" CEILING HEIGHT A.F.F.
 - DENOTES CEILING HEIGHT A.F.F. TBD BY GARAGE FLOOR ABOVE (SEE SECTION AA501)
 - CONSTRUCTION NOTE
 - WALL TYPE - SEE DRAWING A001
 - RAIN WATER LEADER
 - FLOOR DRAIN
 - BUILDING CROSS SECTION NUMBER SHEET NUMBER

- GENERAL NOTES**
1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD/FACE OF CONCRETE UNLESS OTHERWISE NOTED.
 3. INTERIOR DOORS TO BE INSTALLED 3" FROM FACE OF STUD TO EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED. IF DIMENSIONS ARE REQUIRED THEY SHALL BE TO CENTER OF ROUGH OPENING. ALL CLOSET OPENINGS SHALL BE CENTERED ON TOTAL CLOSET WIDTH UNLESS OTHERWISE NOTED.
 4. ALL WINDOWS IN WOOD STUD SHALL BE DIMENSIONED TO CENTER OF ROUGH OPENING. ALL WINDOWS IN CONCRETE SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.
 5. ALL INTERIOR WALLS TO BE P4 UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURE DRAWING A001 FOR CONSTRUCTION WALL TYPES.
 6. ALL EXTERIOR WALLS TO BE W2 UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURE DRAWING A001 FOR CONSTRUCTION WALL TYPES.
 7. CEILING HEIGHT TO BE 9'-0"

- CONSTRUCTION NOTES**
1. 4" PVC PIPE TO BE LOCATED IN CENTRAL LOCATION UNDER THE CONCRETE BASEMENT SLAB AND VAPOR BARRIER WITHIN THE GRANULAR LAYER AND CONNECTED TO A 4" VERTICAL STACK PENETRATING THE ROOF FOR RADON GAS VENTING
 2. CHIMNEY
 3. WOOD CAP WITH GLASS INSERT STAIR RAILING
 4. EXTENT OF COVERED/ UNCOVERED BALCONY CW GLASS GUARDRAILS
 5. LINE OF DECK ABOVE
 6. LINE WHERE CONCRETE FOUNDATION FURRED WALL SYSTEM AND WOOD STUD WALL MEET (CONTRACTOR TO CONFIRM ON SITE)
 7. NATURAL GAS OUTLET
 8. HOSEBIB
 9. CONCRETE STAIR TO ACCESS REAR YARD (FINISHED GRADE TO DETERMINE NUMBER OF TREADS)
 10. LINE OF CONCRETE PATIO SLAB (TO BE CONFIRMED BY CONTRACTOR)
 11. EXPOSED AGGREGATE CONCRETE
 12. LINE OF WALL ABOVE
 13. ATTIC ACCESS ABOVE TO FIT BETWEEN ROOF JOISTS (CONTRACTOR TO DETERMINE SIZE AND LOCATION)
 14. PONY WALL W/2 AT 42" HIGH
 15. WALL W/ SPINDLE RAILING ON EITHER SIDE
 16. SHOWER (6'-4" X 4'-10") (TO BE CONFIRMED BY CONTRACTOR)
 17. TUB-SHOWER ROUGH IN (5'-0" X 2'-8") (TO BE CONFIRMED BY CONTRACTOR)
 18. BULKHEAD TO ACCOMMODATE DROP CEILING (FOR MECHANICAL ROUTING)
 19. MILLWORK - BUILT-IN SHELVING (TO BE CONFIRMED BY CLIENT)
 20. KITCHEN ISLAND CW EATING BAR (TO BE CONFIRMED BY CONTRACTOR)
 21. 42" JADE GAS FIREPLACE/PLACE (TO BE CONFIRMED BY CONTRACTOR)
 22. FURNACE
 23. OPTIONAL HRV UNIT TO BE INSTALLED (TO BE CONFIRMED BY CONTRACTOR)
 24. HOT WATER HEATER (TO BE CONFIRMED BY CONTRACTOR)
 24. LOAD BEARING BUILT-UP WOOD BEAM (24" X 16") CLAD W/ FIBRE-CEMENT BOARD (REFER TO A501 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
 25. LOAD BEARING BUILT-UP WOOD BEAM (12" X 12") CLAD W/ FIBRE-CEMENT BOARD (REFER TO A501 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
 26. LOAD BEARING BUILT-UP WOOD COLUMN (12" X 12") CLAD W/ FIBRE-CEMENT BOARD (U.O.N.) (REFER TO A401 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
 27. LOAD BEARING BEAM (SIZE TO BE CONFIRMED BY STRUCTURAL)
 28. LOAD BEARING COLUMN (SIZE TO BE CONFIRMED BY STRUCTURAL)
 29. CONCRETE PIER & FOOTING (THE FOOTINGS TOGETHER) (SIZE TO BE CONFIRMED BY STRUCTURAL)
 30. HYBRID ELEVATOR - HOISTWAY 3x4" SINGLE ENTRY, REAR DRIVE. REFER TO MANUFACTURERS SPEC'S



1 Mudroom Bench
1/4" = 1'-0"

2 Entry Level(411.71 m)
1/4" = 1'-0"

LOWER FLOOR

FINISHED FLOOR AREA.....	1090 SQFT
UNFINISHED AREA(storage, elev).....	250 SQFT
GARAGE AREA.....	406 SQFT
FRONT PORCH AREA.....	108 SQFT

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SYMBOL LEGEND

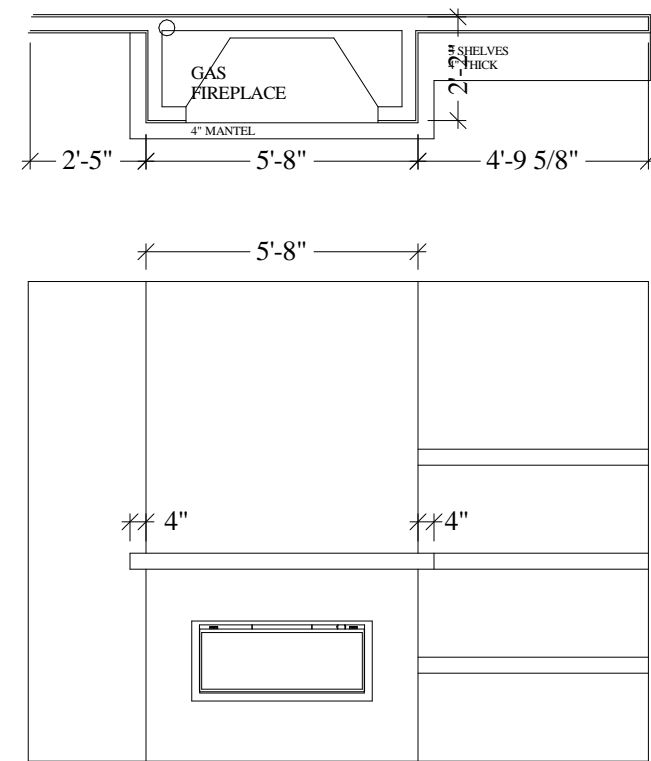
- STUD WALL - SEE DRAWING A001 FOR WALL CONSTRUCTION DETAIL
- CONCRETE WALL - SEE DRAWING A001 FOR WALL CONSTRUCTION DETAIL
- DENOTES 8'-0" CEILING HEIGHT A.F.F.
- DENOTES CEILING HEIGHT A.F.F. TBD BY GARAGE FLOOR ABOVE (SEE SECTION A-A500)
- CONSTRUCTION NOTE
- WALL TYPE - SEE DRAWING A001
- RAIN WATER LEADER
- FLOOR DRAIN
- BUILDING CROSS SECTION NUMBER SHEET NUMBER

GENERAL NOTES

- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- INTERIOR DOORS TO BE INSTALLED 3" FROM FACE OF STUD TO EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED. IF DIMENSIONS ARE REQUIRED THEY SHALL BE TO CENTER OF ROUGH OPENING. ALL CLOSED OPENINGS SHALL BE CENTERED ON TOTAL CLOSE WIDTH UNLESS OTHERWISE NOTED.
- ALL WINDOWS IN WOOD STUD SHALL BE DIMENSIONED TO CENTER OF ROUGH OPENING. ALL WINDOWS IN CONCRETE SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.
- ALL INTERIOR WALLS TO BE P4 UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURE DRAWING A001 FOR CONSTRUCTION WALL TYPES.
- ALL EXTERIOR WALLS TO BE W2 UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURE DRAWING A001 FOR CONSTRUCTION WALL TYPES.
- CEILING HEIGHT TO BE 9'-0"

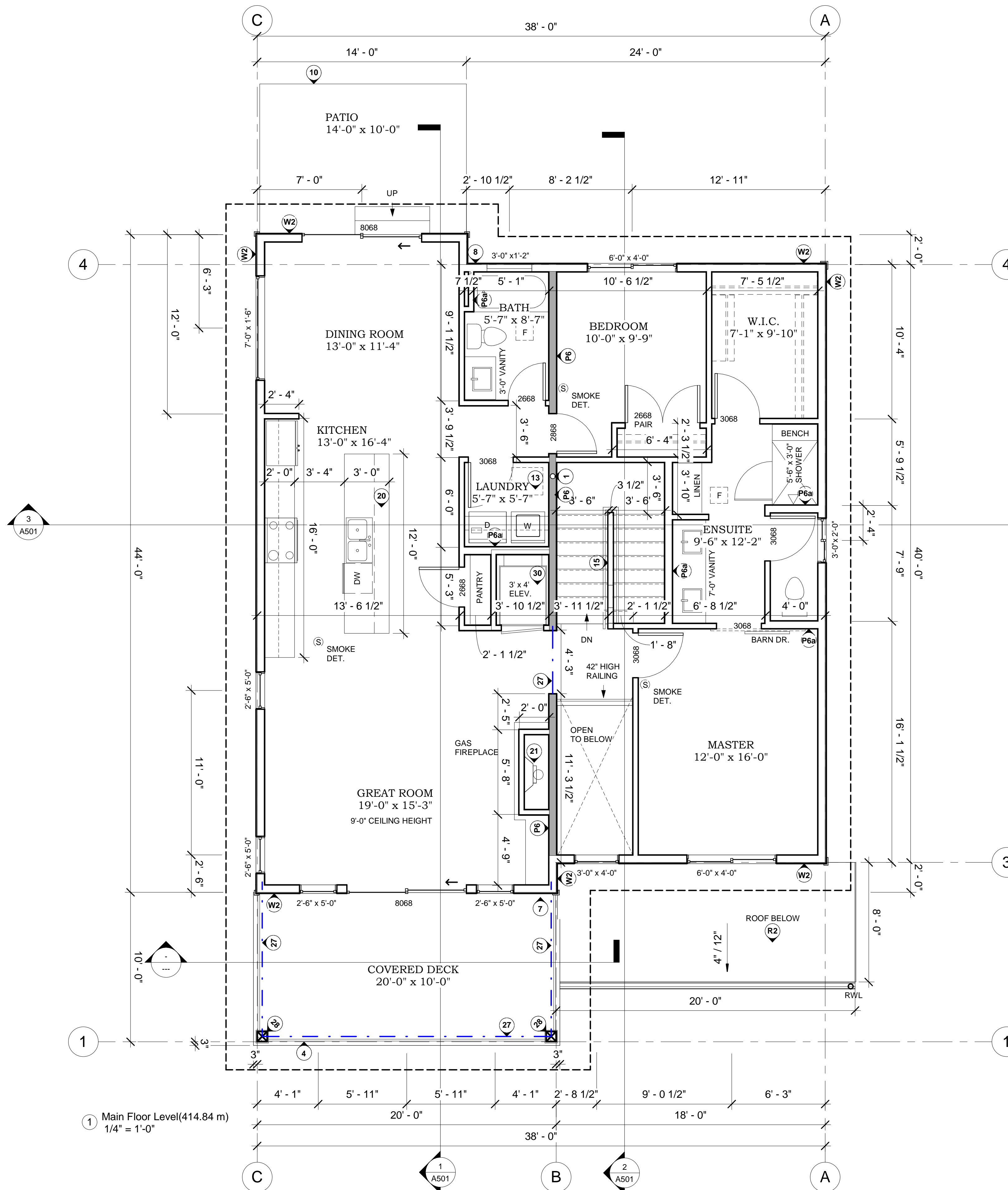
CONSTRUCTION NOTES

- 4" PVC PIPE TO BE LOCATED IN CENTRAL LOCATION UNDER THE CONCRETE BASEMENT SLAB AND VAPOR BARRIER WITHIN THE GRANULAR LAYER AND CONNECTED TO 4" VERTICAL STACK PENETRATING THE ROOF FOR RADON GAS VENTING
- CHIMNEY
- WOOD CAP WITH GLASS INSERT STAIR RAILING
- EXTENT OF COVERED / UNCOVERED BALCONY CW GLASS GUARDRAILS
- LINE OF DECK ABOVE
- LINE WHERE CONCRETE FOUNDATION FURRED WALL SYSTEM AND WOOD STUD WALL MEET (CONTRACTOR TO CONFIRM ON SITE)
- NATURAL GAS OUTLET
- HOSEBIB
- CONCRETE STAIR TO ACCESS REAR YARD (FINISHED GRADE TO DETERMINE NUMBER OF TREADS)
- LINE OF CONCRETE PATIO SLAB (TO BE CONFIRMED BY CONTRACTOR)
- EXPOSED AGGREGATE CONCRETE
- LINE OF WALL ABOVE
- ATTIC ACCESS ABOVE TO FIT BETWEEN ROOF JOISTS (CONTRACTOR TO DETERMINE SIZE AND LOCATION)
- PONY WALL W/ 2" AT 42" HIGH
- WALL W/ SPINDLE RAILING ON EITHER SIDE
- SHOWER (6'-4" X 4'-10") (TO BE CONFIRMED BY CONTRACTOR)
- TUB-SHOWER ROUGH IN (5'-0" X 2'-8") (TO BE CONFIRMED BY CONTRACTOR)
- BULKHEAD TO ACCOMMODATE DROP CEILING (FOR MECHANICAL ROUTING)
- MILLWORK - BUILT-IN SHELVEING (TO BE CONFIRMED BY CLIENT)
- KITCHEN ISLAND CW EATING BAR (TO BE CONFIRMED BY CONTRACTOR)
- 42" JADE GAS FIREPLACE (TO BE CONFIRMED BY CONTRACTOR)
- FURNACE
- OPTIONAL HRV UNIT TO BE INSTALLED (TO BE CONFIRMED BY CONTRACTOR)
- HOT WATER HEATER (TO BE CONFIRMED BY CONTRACTOR)
- LOAD BEARING BUILT-UP WOOD BEAM (24" X 16") CLAD W/ FIBRE-CEMENT BOARD (REFER TO A501 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
- LOAD BEARING BUILT-UP WOOD BEAM (12" X 12") CLAD W/ FIBRE-CEMENT BOARD (REFER TO A501 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
- LOAD BEARING BUILT-UP WOOD COLUMN (12" X 12") CLAD W/ FIBRE-CEMENT BOARD (U.O.N.) (REFER TO A401 FOR VISUAL) (SIZE TO BE CONFIRMED BY STRUCTURAL)
- LOAD BEARING BEAM (SIZE TO BE CONFIRMED BY STRUCTURAL)
- LOAD BEARING COLUMN (SIZE TO BE CONFIRMED BY STRUCTURAL)
- CONCRETE PIER & FOOTING (TIE FOOTINGS TOGETHER) (SIZE TO BE CONFIRMED BY STRUCTURAL)
- HYBRID ELEVATOR - HOISTWAY 3' X 4' SINGLE ENTRY, REAR DRIVE. REFER TO MANUFACTURER'S SPEC'S



LEVEL 2 - STONE TO BOTTOM OF MANTLE

4 Main Floor Level - Fireplace Options
1/4" = 1'-0"



MAIN FLOOR

FINISHED FLOOR AREA.....1437 SQFT
COVERED DECK AREA.....200 SQFT
PATIO AREA.....140 SQFT

The Seasons
Development,
Vernon BC Lot
39 - (Ponderosa)

Main Floor

Date	Aug 19 2020
Drawn by	CR
Project No.	1935
Scale	1/4" = 1'-0"

A203

No.	Description	Date
1.	Quoting set for review Aug 28 2019	
2.	Lower floor layout options Sept 18 2019	
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12.	revise to ICF foundation Aug 19 2020	

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E: jacob@evertonridge.ca

The Seasons Development,
Vernon BC Lot 39 - (Ponderosa)

Roof plan

Date	Aug 19 2020
Drawn by	CR
Project No.	1935
Scale	As indicated

BCBC 9.36 - EFFECTIVE THERMAL INSULATION CALCULATIONS
PERSPECTIVE METHOD - CLIMATE ZONE 5 - WITH HRV

TYPE OF ASSEMBLY: EXTERIOR WALL WITH FIBRE CEMENT SIDING(6.35MM)

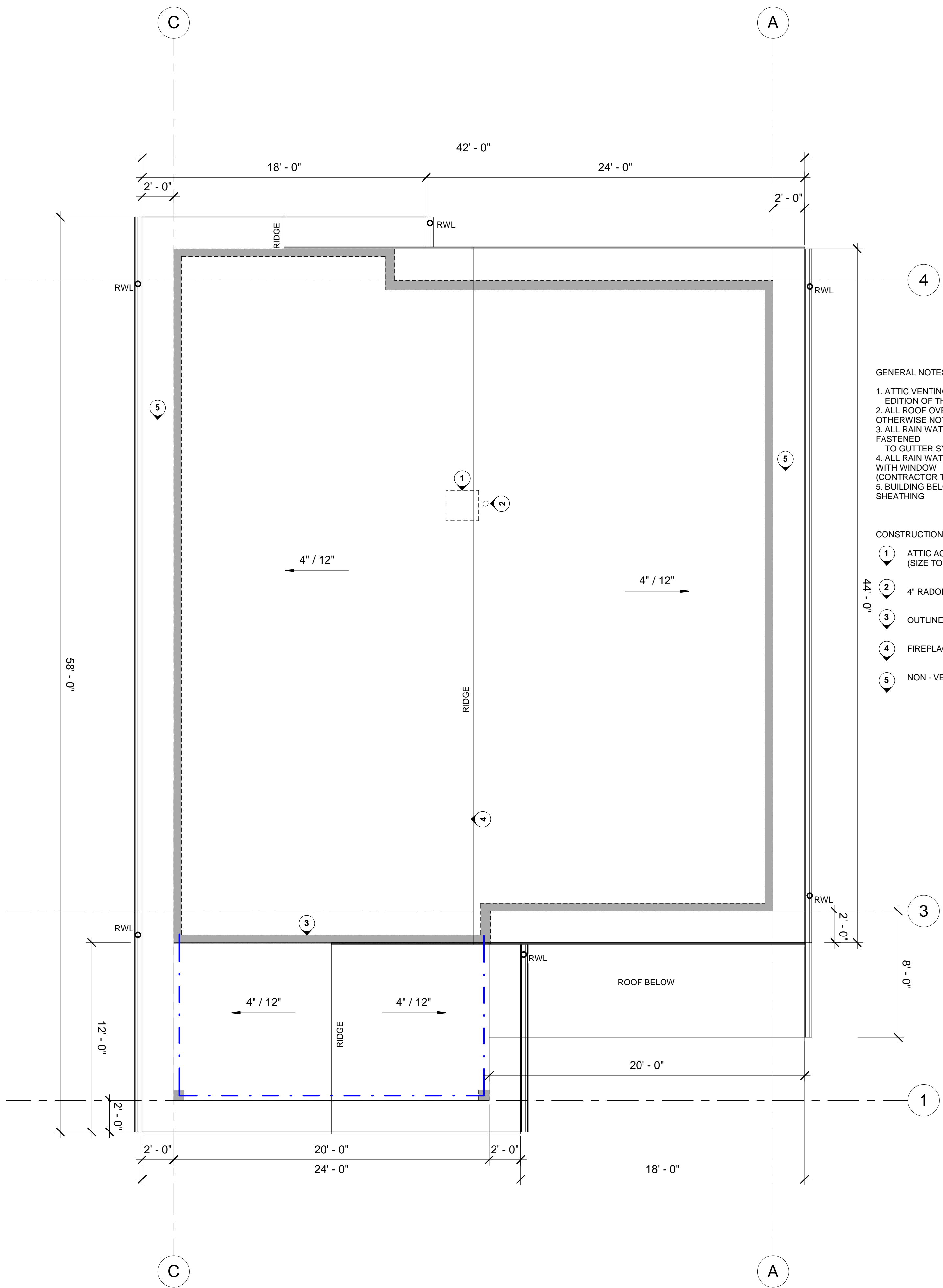
ITEM	NORMAL	EFFECTIVE
EXTERIOR AIR FILM	0.03	
6.35MM FIBRE CEMENT	0.026	RSI 0.366 (R-2.06)
TYVEK SHEATHING PAPER	-----	
3/8" SHEATHING	0.083	
2X6 STUD @ 24" o/c WITH R24 BATT INSULATION	4.23	RSI 2.80 (R-15.9)
POLY (AIR/VAPOR BARRIER)	-----	
1/2" GYPSUM BOARD	0.08	
INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE (24" O.C. FRAMING)		RSI 3.166 (R 17.98)
MIN. EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.08 (R 17.5)

TYPE OF ASSEMBLY: CEILING BELOW ATTIC

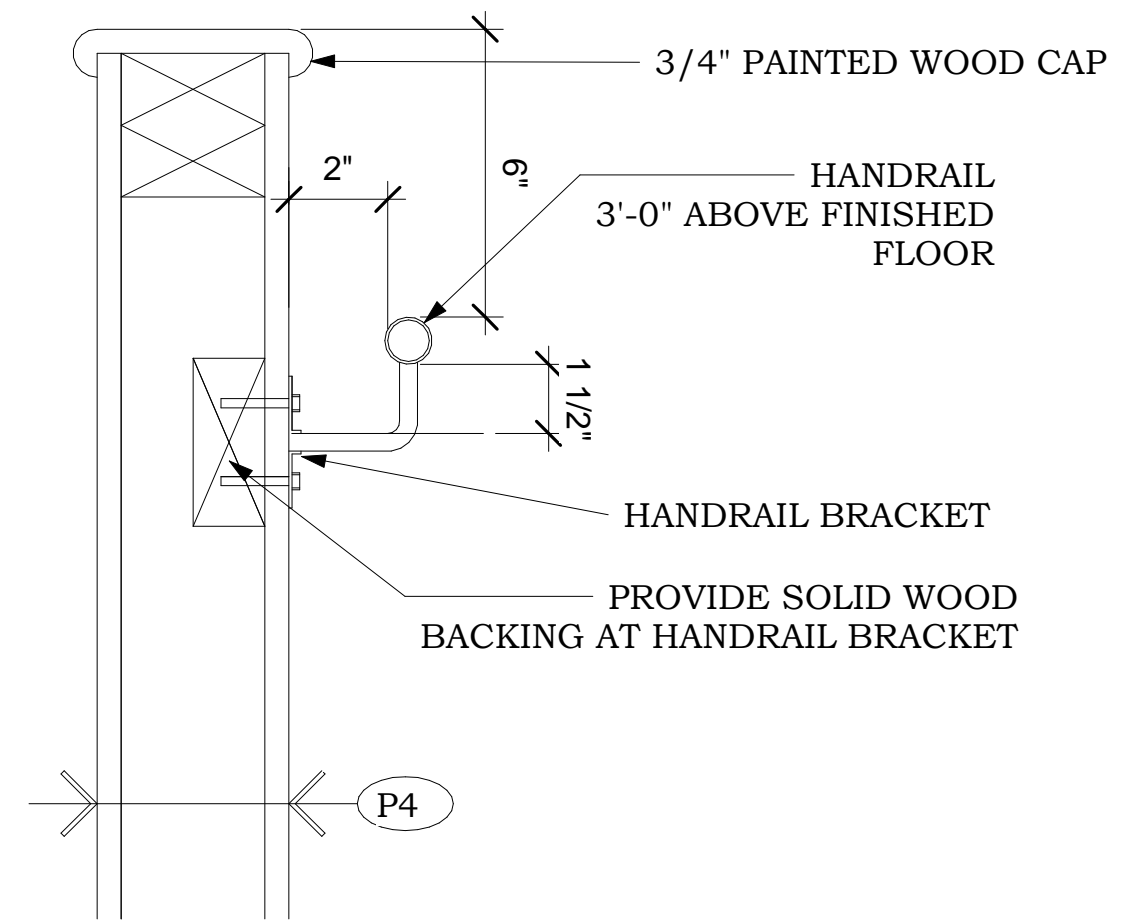
ITEM	NORMAL	EFFECTIVE
EXTERIOR AIR FILM	0.03	
356MM (14") GLASS FIBRE LOOSE FILL INSULATION OR BATT INSULATION	8.8	RSI 8.56 (R 48.65)
2X4 BOTTOM CHORD @ 24" O.C.	-----	
POLYETHYLENE AIR/VAPOUR BARRIER	-----	
1/2" GYPSUM BOARD	0.08	
INTERIOR AIR FILM	0.11	
TOTAL EFFECTIVE INSULATION VALUE (24" O.C. FRAMING)		RSI 8.80 (R 50.00)
MIN. EFFECTIVE THERMAL RESISTANCE FOR ABOVE CEILINGS BELOW ATTICS		RSI 8.67 (R 49.92)

TYPE OF ASSEMBLY: BELOW GRADE WALL

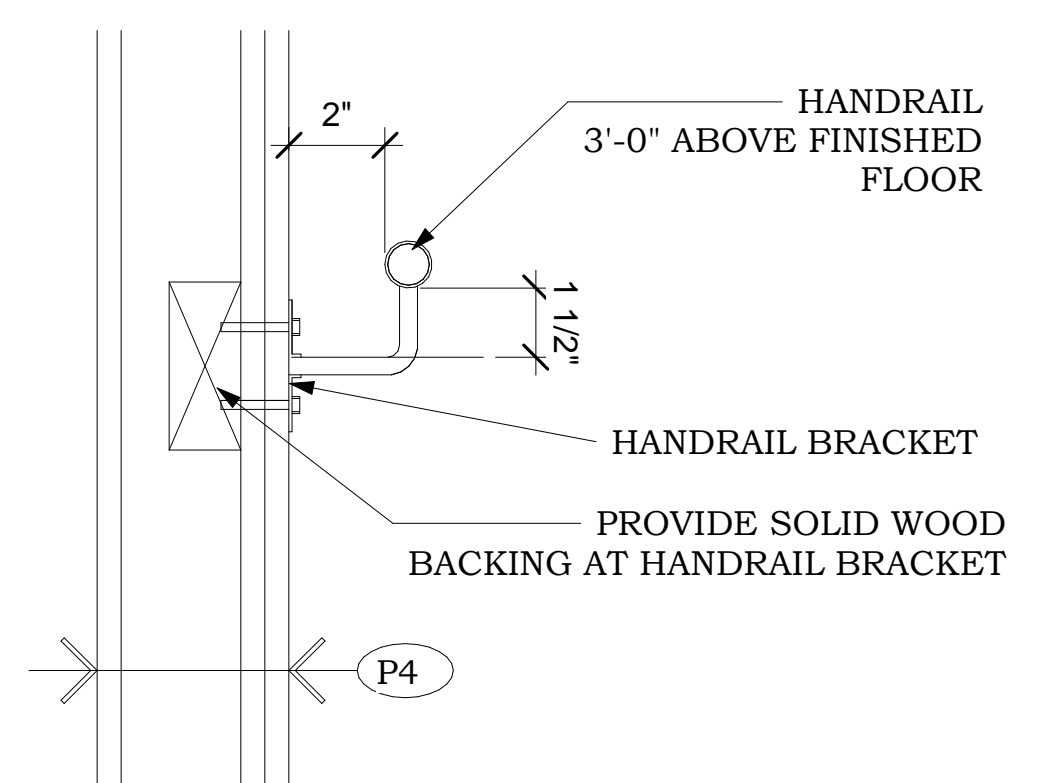
ITEM	NORMAL	EFFECTIVE
8" CONCRETE - NORMAL DENSITY	3.52	RSI 2.78 (R 15.78)
R 20 BATT INSULATION IN 2X6 WOOD FRAMING @ 24" O.C.		
DAMP PROOFING	0.21	
1" AIR SPACE	0.18	
POLY (AIR/VAPOR BARRIER)	-----	
1/2" GYPSUM BOARD	0.08	
INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE (24" O.C. FRAMING)		RSI 3.35 (R 19.0)
MIN. EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 2.98 (R 16.9)



- GENERAL NOTES**
- ATTIC VENTING TO CONFORM WITH THE CURRENT EDITION OF THE BC BUILDING CODE
 - ALL ROOF OVERHANGS TO BE 2'-0" UNLESS OTHERWISE NOTED
 - ALL RAIN WATER LEADERS TO BE MECHANICALLY FASTENED TO GUTTER SYSTEMS (TYPICAL)
 - ALL RAIN WATER LEADERS ARE NOT TO CONFLICT WITH WINDOW LOCATIONS OR EXTERIOR WALL JOGS. (CONTRACTOR TO CONFIRM QUANTITY AND LOCATION)
 - BUILDING BELOW DIMENSIONS ARE TO FACE OD SHEATHING
- CONSTRUCTION NOTES**
- ATTIC ACCESS TO FIT BETWEEN ROOF JOISTS (SIZE TO BE CONFIRMED BY CONTRACTOR)
 - 4" RADON GAS VENT
 - OUTLINE OF BUILDING BELOW
 - FIREPLACE VENT
 - NON - VENTED SOFFIT



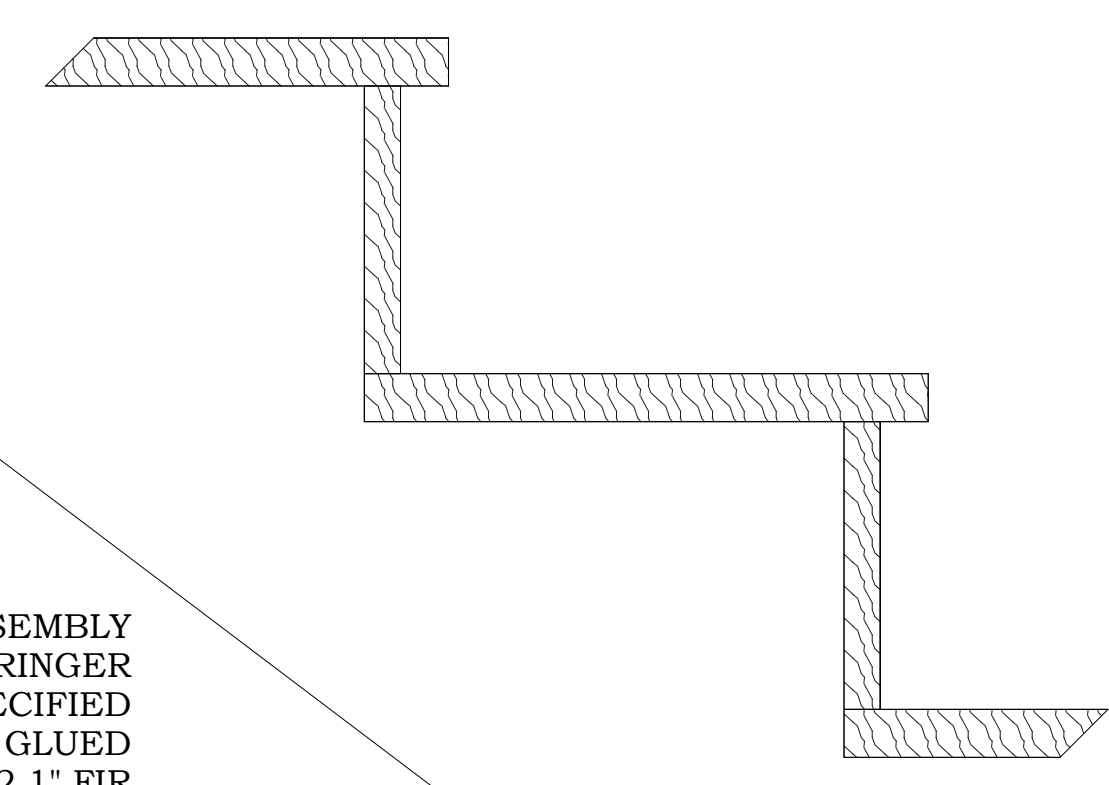
HANDRAIL & PONY WALL DETAIL
SCALE: 3" = 1'-0"



TYP. HANDRAIL DETAIL

STAIR ASSEMBLY
TREAD, RISER & STRINGER
FINISHES AS SPECIFIED
1" PLYWOOD RISERS GLUED
AND SCREWED TO 1X12 1" FIR
STRINGERS (DOUBLE 2X12
STRINGERS AT MID TREAD)

TYP. INTERIOR STAIR TREAD DETAIL
SCALE: 3" = 1'-0"



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E: jacob@evertonridge.ca

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Development,
Vernon BC Lot
39 - (Ponderosa)

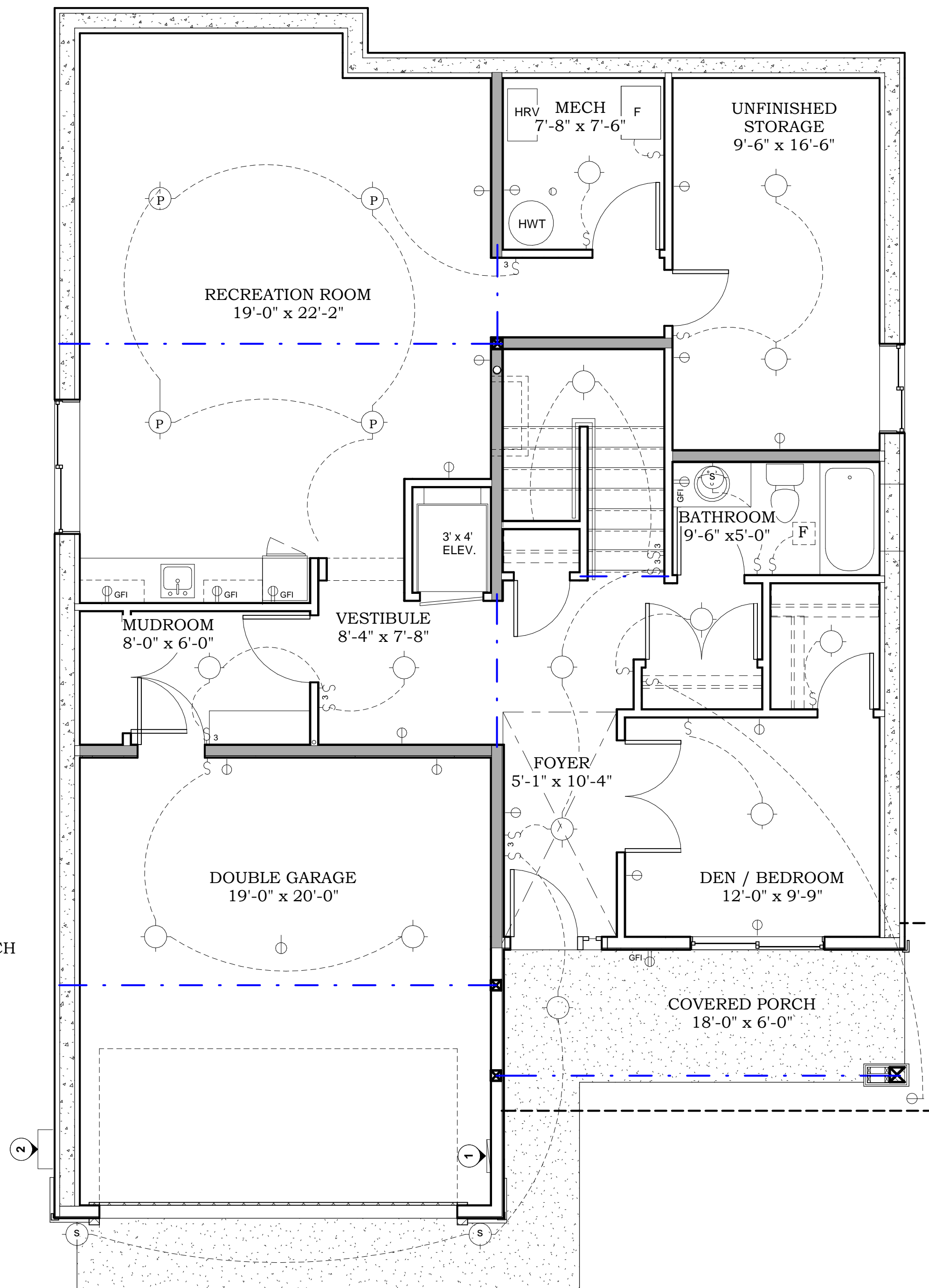
Lighting plan

ELECTRICAL LEGEND

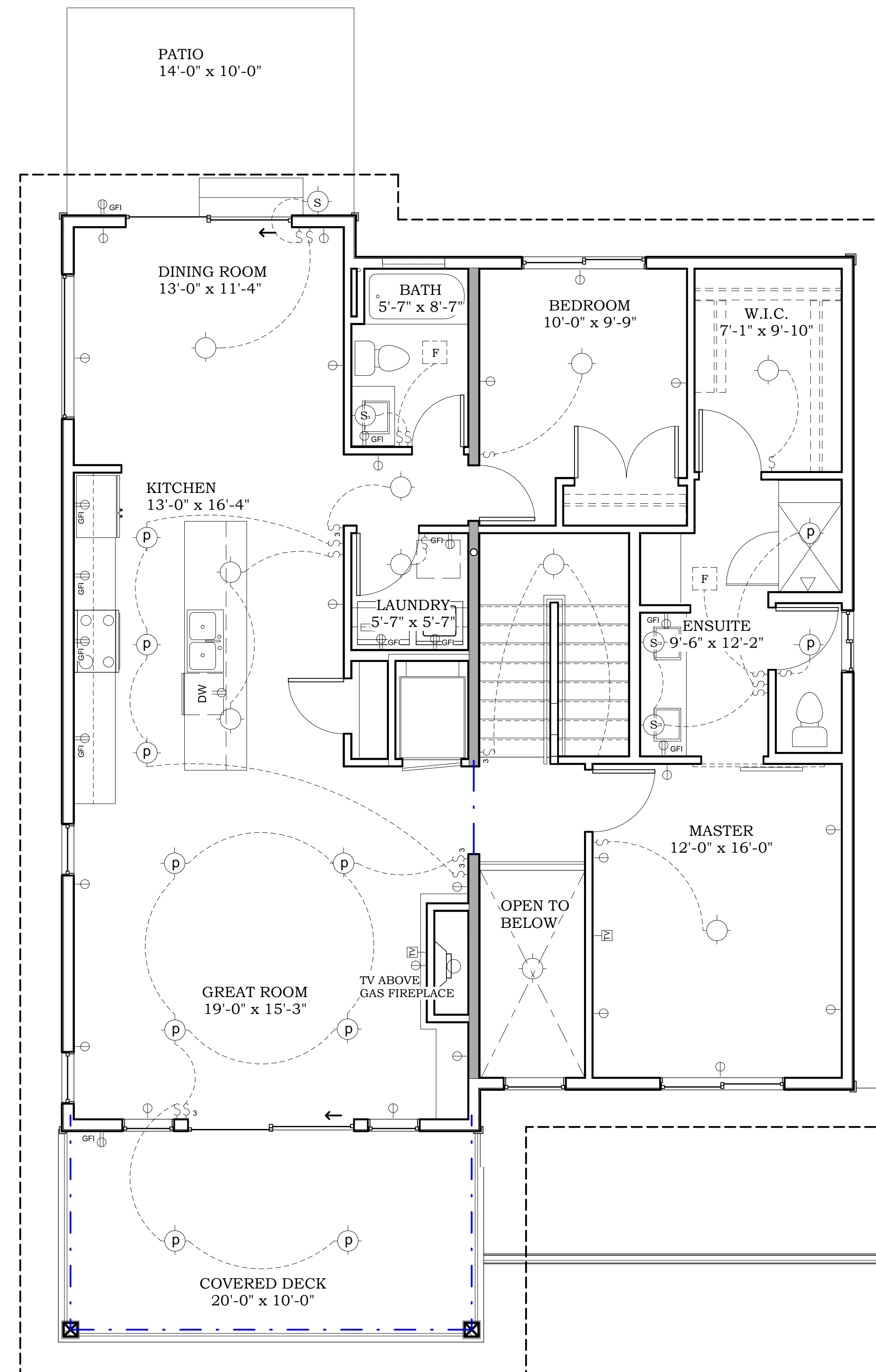
- ⌘ SWITCH
- ⌘₃ SWITCH 3 WAY
- ⌘₄ SWITCH 4 WAY
- [F] VENT FAN
- OUTLET
- _{CAT6} OUTLET 240V
- ₂₄₀ OUTLET 240V
- _{GAS} NATURAL GAS
- LIGHT FIXTURE
- LIGHT FIXTURE - POT
- LIGHT FIXTURE - MOTION SWITCH
- LIGHT FIXTURE - SCONCE
- POWER LINE
- TV TV HOOK UP

CONSTRUCTION NOTES

- ① ELECTRICAL PANEL
- ② METER BASE



① Entry Level- Lighting plan
1/4" = 1'-0"



② Main Floor Level- Lighting Plan
1/4" = 1'-0"

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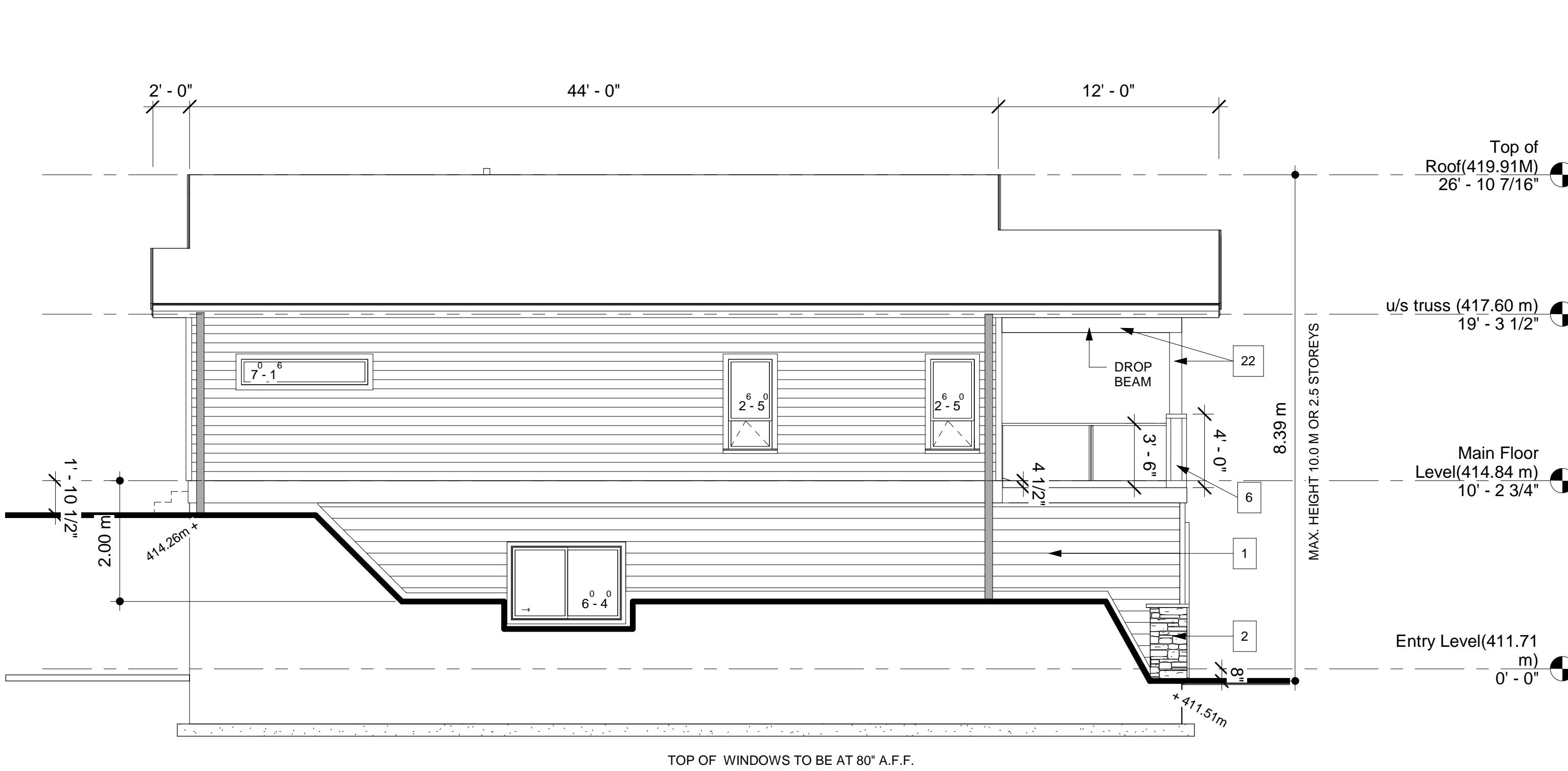
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Exterior Elevations
Craftsman Style

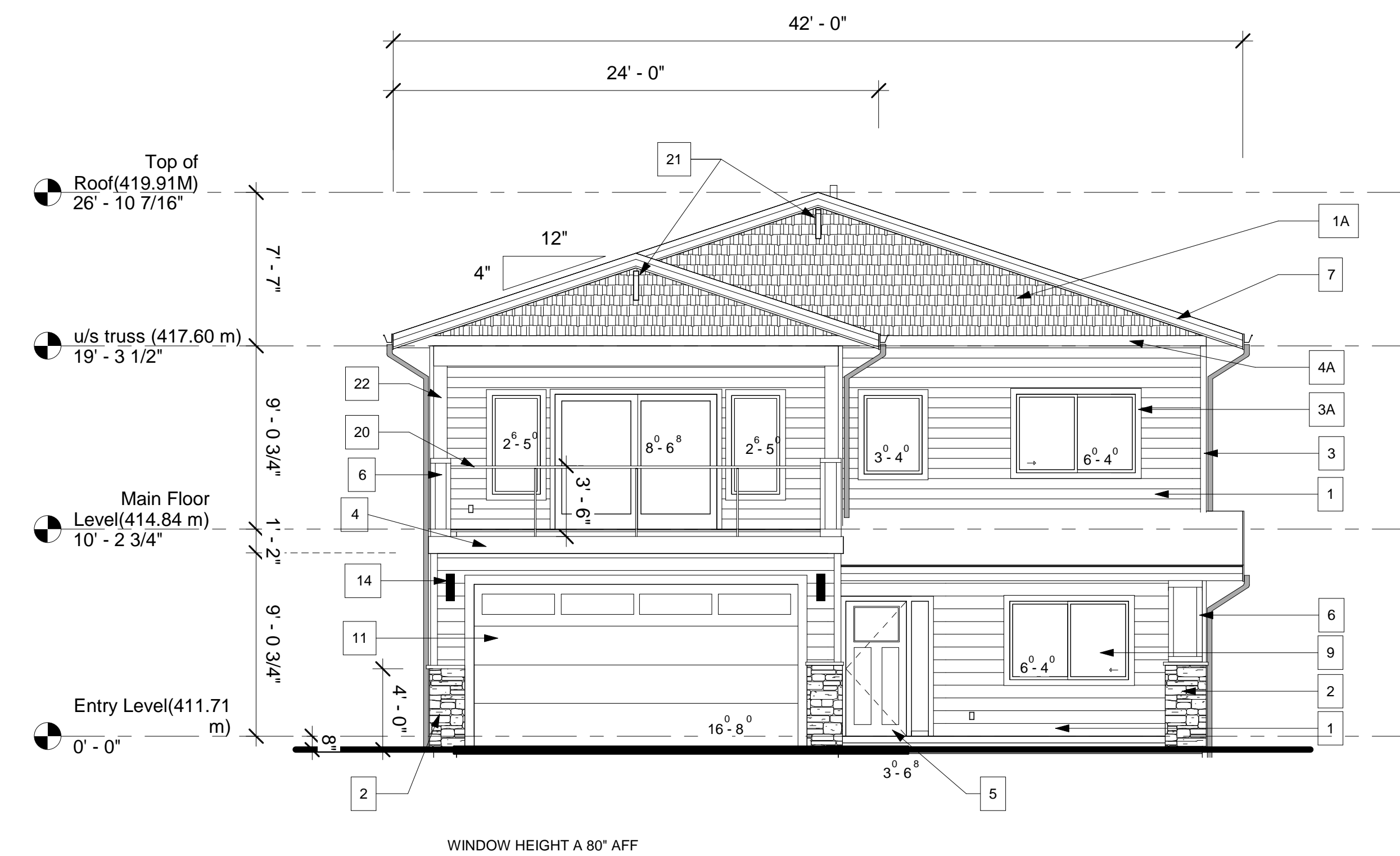
Date	Aug 19 2020
Drawn by	cr
Project No.	1935
Scale	3/16" = 1'-0"

A401

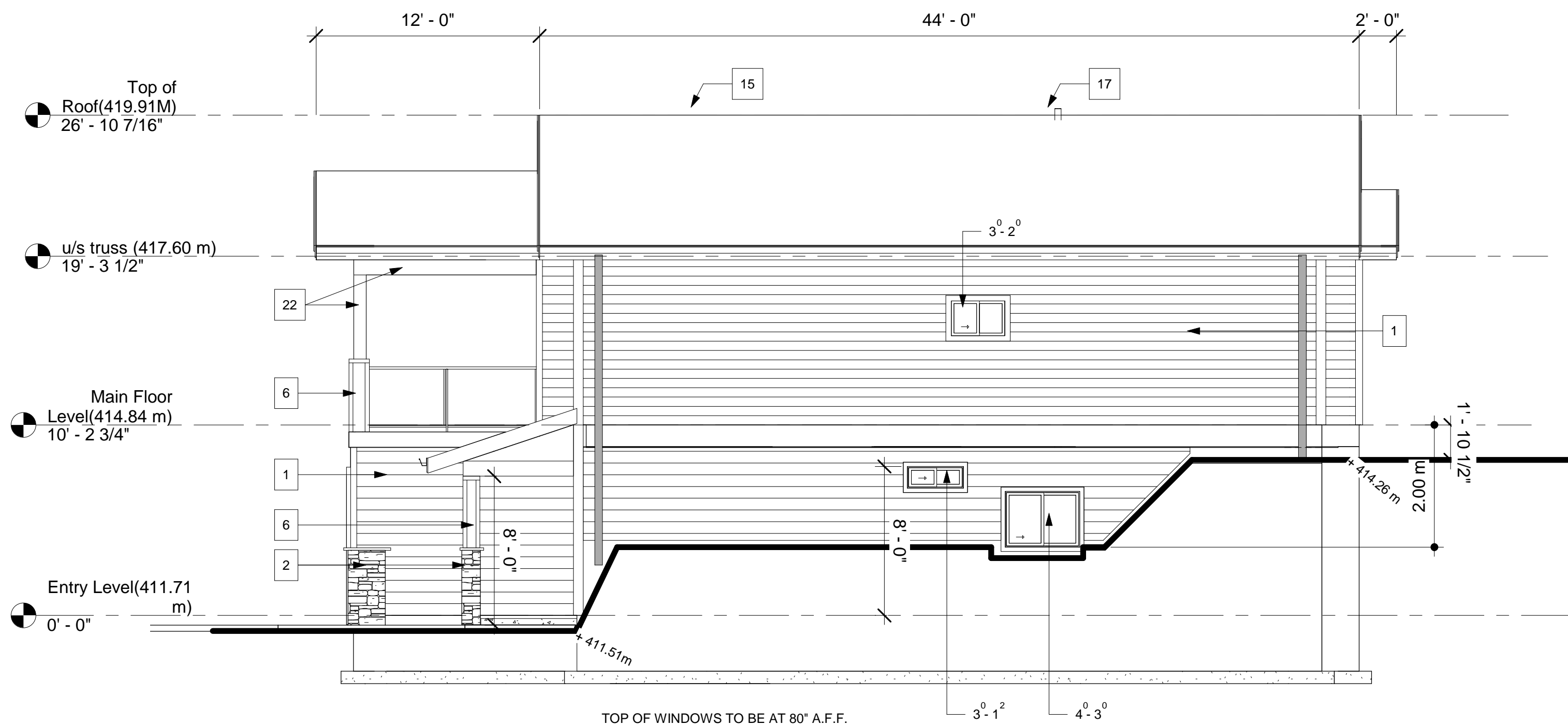


Left Side Elevation
3/16" = 1'-0"

LIMITING DISTANCE OF 1.2M
EXPOSED BUILDING FACE AREA = 85.65 M2
PROPOSED OPENINGS = 5.52 M2 = 6% OPENINGS
MAX. ALLOWABLE OPENINGS - 7%

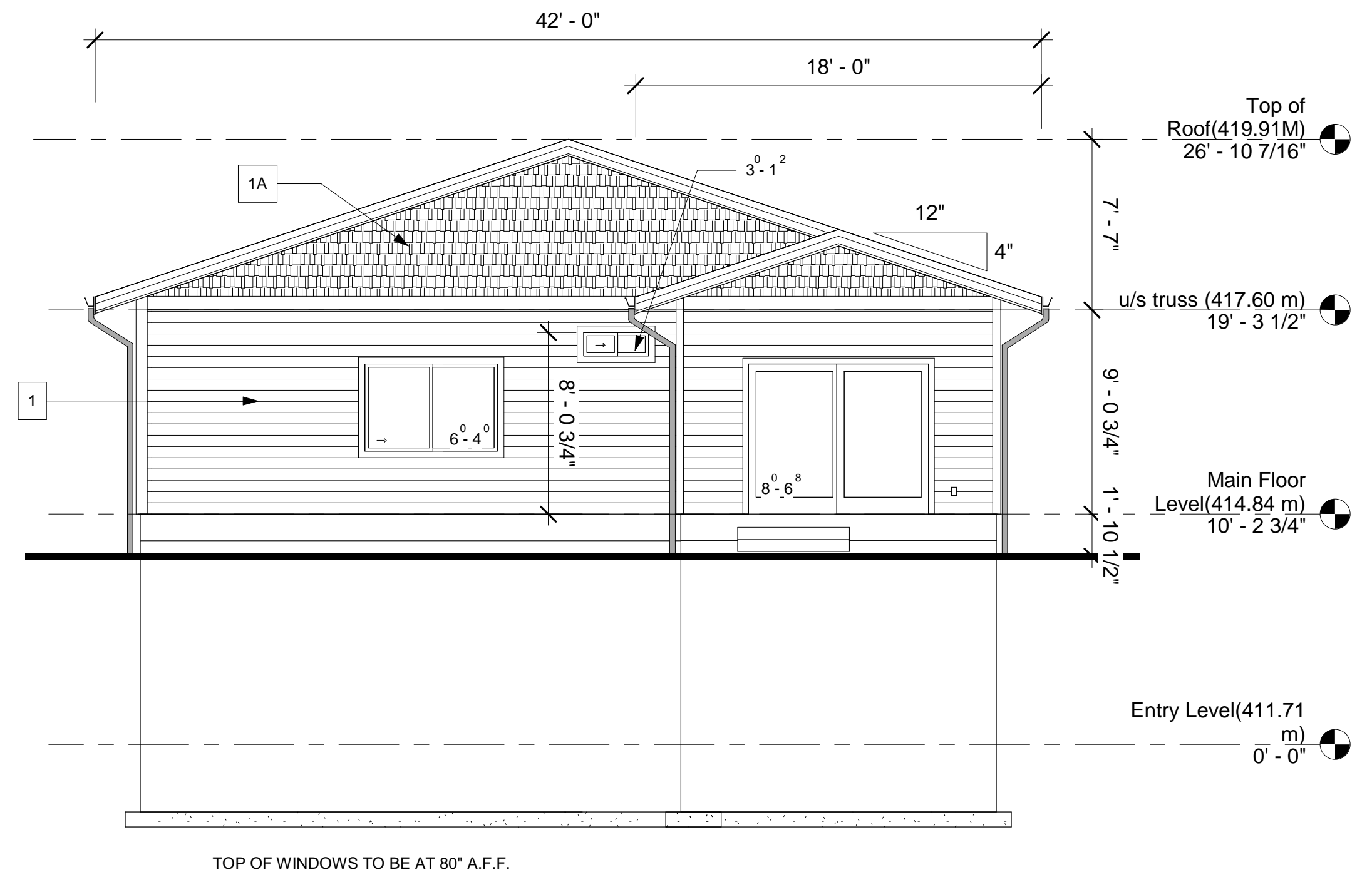


Front Elevation
3/16" = 1'-0"



Right Side Elevation
3/16" = 1'-0"

LIMITING DISTANCE OF 1.2M
EXPOSED BUILDING FACE AREA = 68.28 M2
PROPOSED OPENINGS = 2.09M2 = 3% OPENINGS
MAX. ALLOWABLE OPENINGS - 7%



Rear Elevation
3/16" = 1'-0"

MATERIALS LEGEND (NOTE: FOR FINISHES AND COLORS, SEE COLOR/MATERIAL BOARD)

1 FIBRE CEMENT SIDING	5 FIBREGLASS ENTRY DOOR	11 GARAGE DOOR	16 LAMINATED ASPHALT SHINGLES
1A FIBRE CEMENT SHAKE	6 FIBRE CEMENT TRIM	12 EXPOSED CONCRETE (TO BE PARGED IF IN EXCESS OF 18" ABOVE FINISHED GRADE)	17 RADON GAS VENT
2 CULTURED STONE MASONRY	7 FIBRE CEMENT FASCIA (10' + 4')	13 ALUMINUM PERFORATED SOFFIT	18 NON- VENTED SOFFIT
3 SMART TRIM CORNERS (1X6)	8 ALUMINUM GUTTERS AND DOWNSPOUTS	14 EXTERIOR LIGHTING	19 DURADECK DECKING
3A SMART TRIM (1X4) WINDOWS AND DOORS	9 VINYL WINDOWS AND SLIDING DOORS	15 FIREPLACE VENT	20 METAL AND GLASS RAILING
4 FIBRE CEMENT HORIZ. TRIM (1X12)	10 RETAINING WALL		21 TIMBER BRACKET DETAIL
4A FIBRE CEMENT HORIZ. TRIM (1X8)			22 POSTS AND BEAMS WRAPPED IN SMART TRIM

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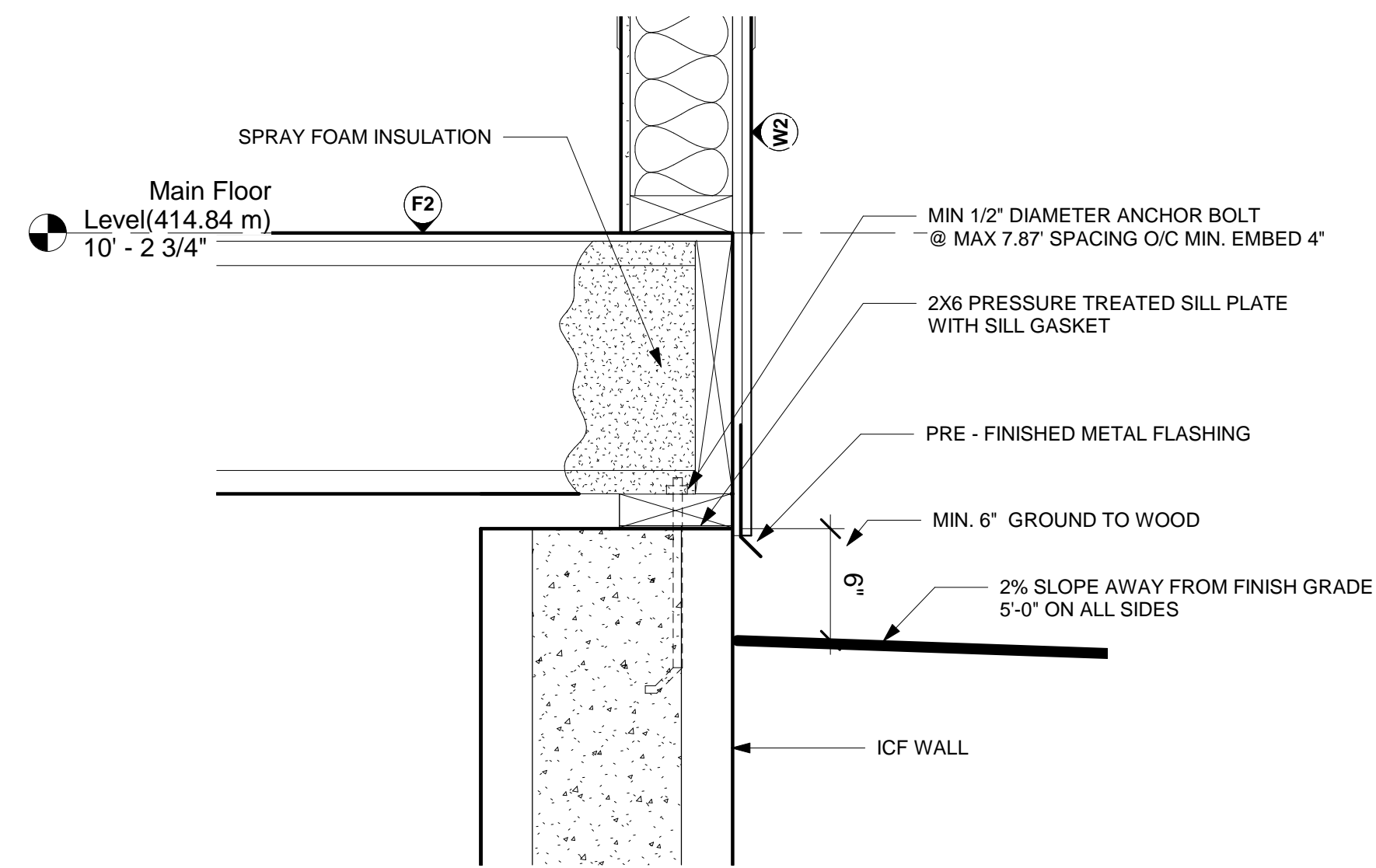
CONTACT: JACOB KUIKEN
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39 - (Ponderosa)

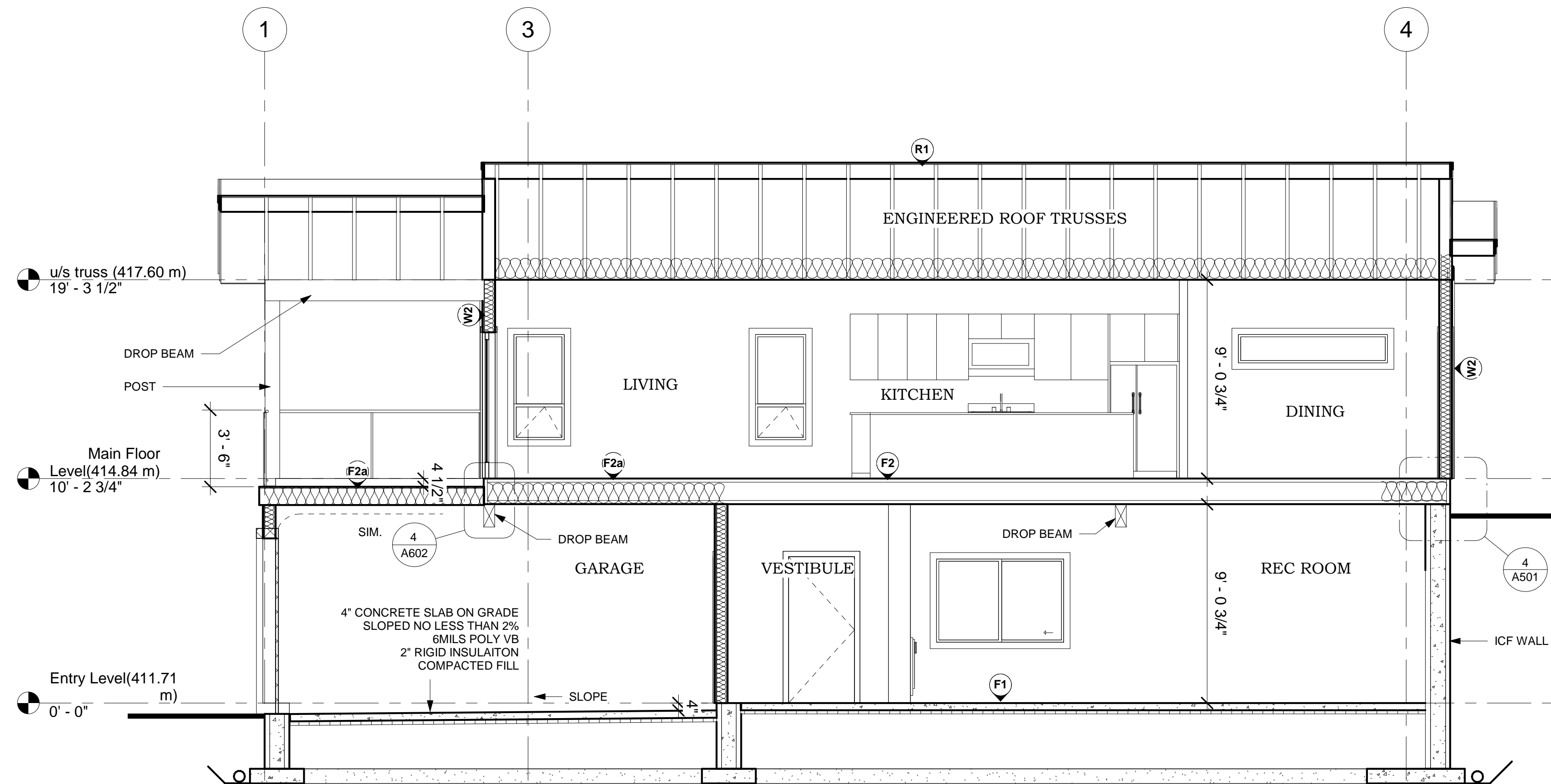
Building Cross
Sections

Date	Aug 19 2020
Drawn by	CR
Project No.	1935
Scale	As indicated

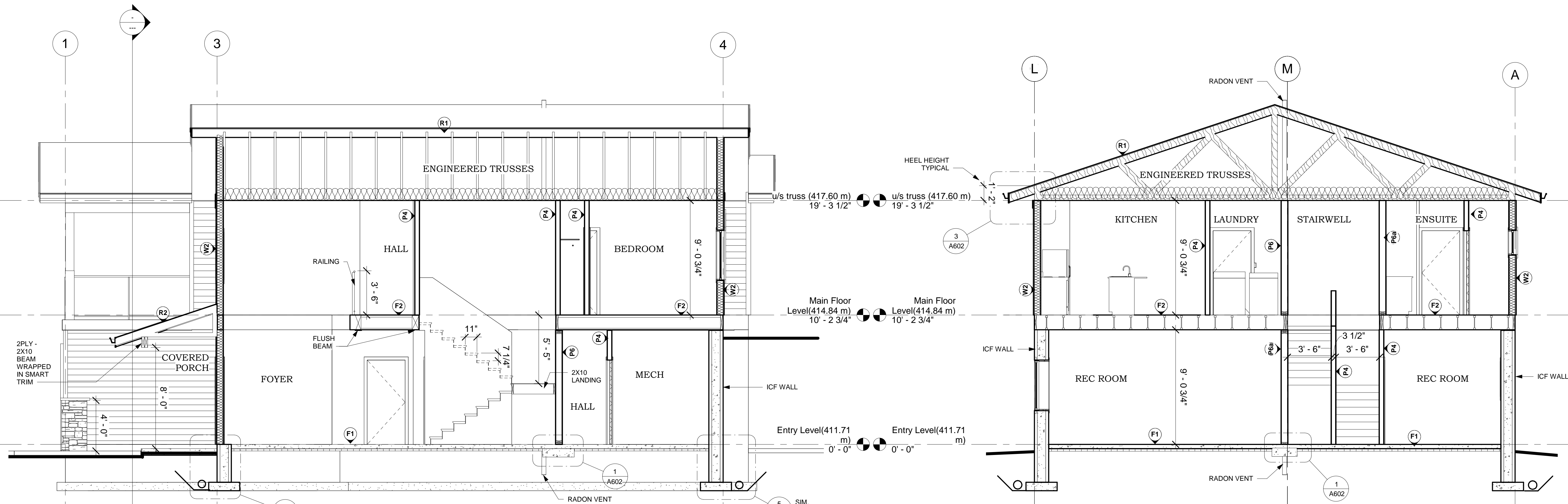
A501



4 Exterior Wall to Floor Detail
1 1/2" = 1'-0"



1 Section A
1/4" = 1'-0"



2 Section B
1/4" = 1'-0"

3 Section C
1/4" = 1'-0"

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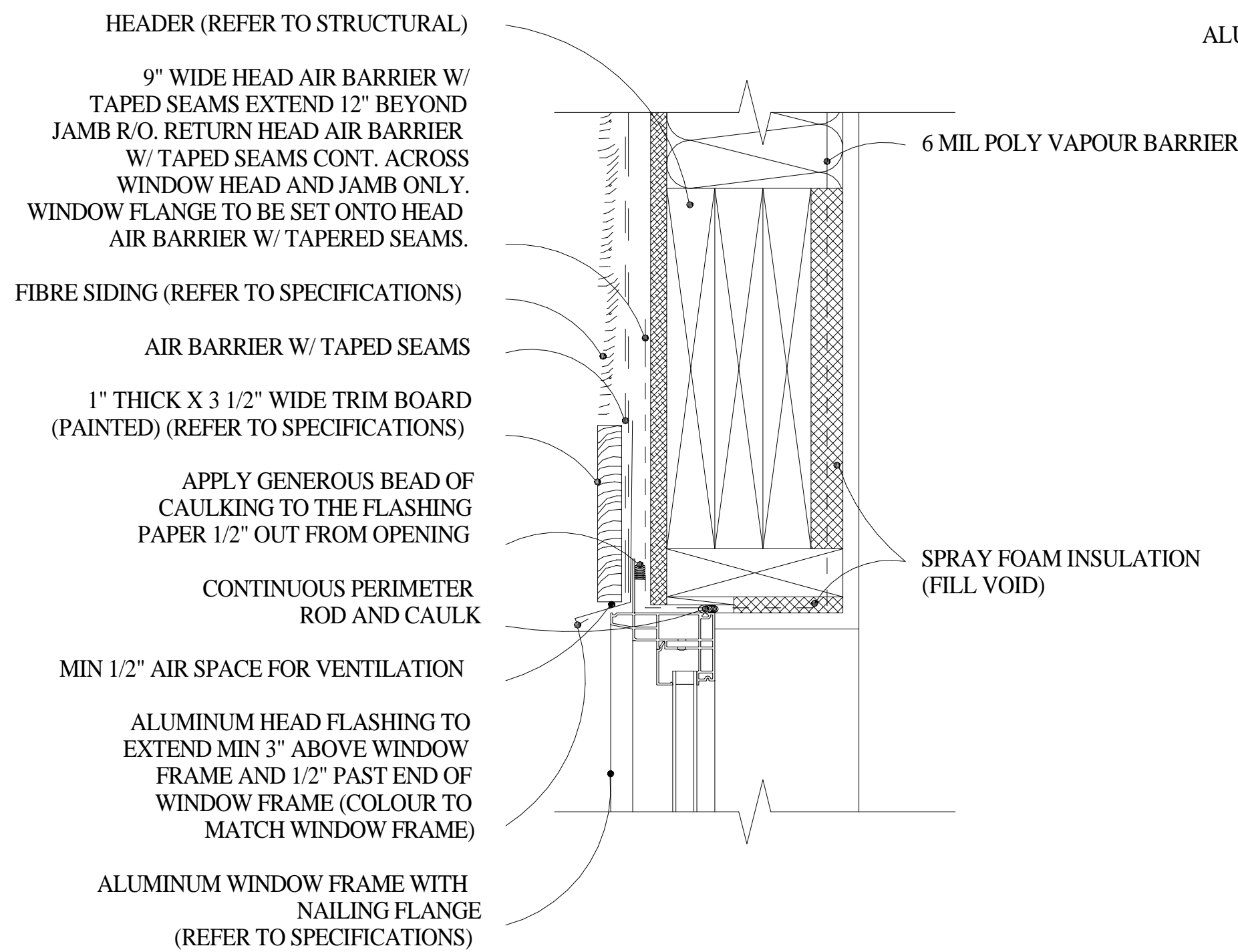
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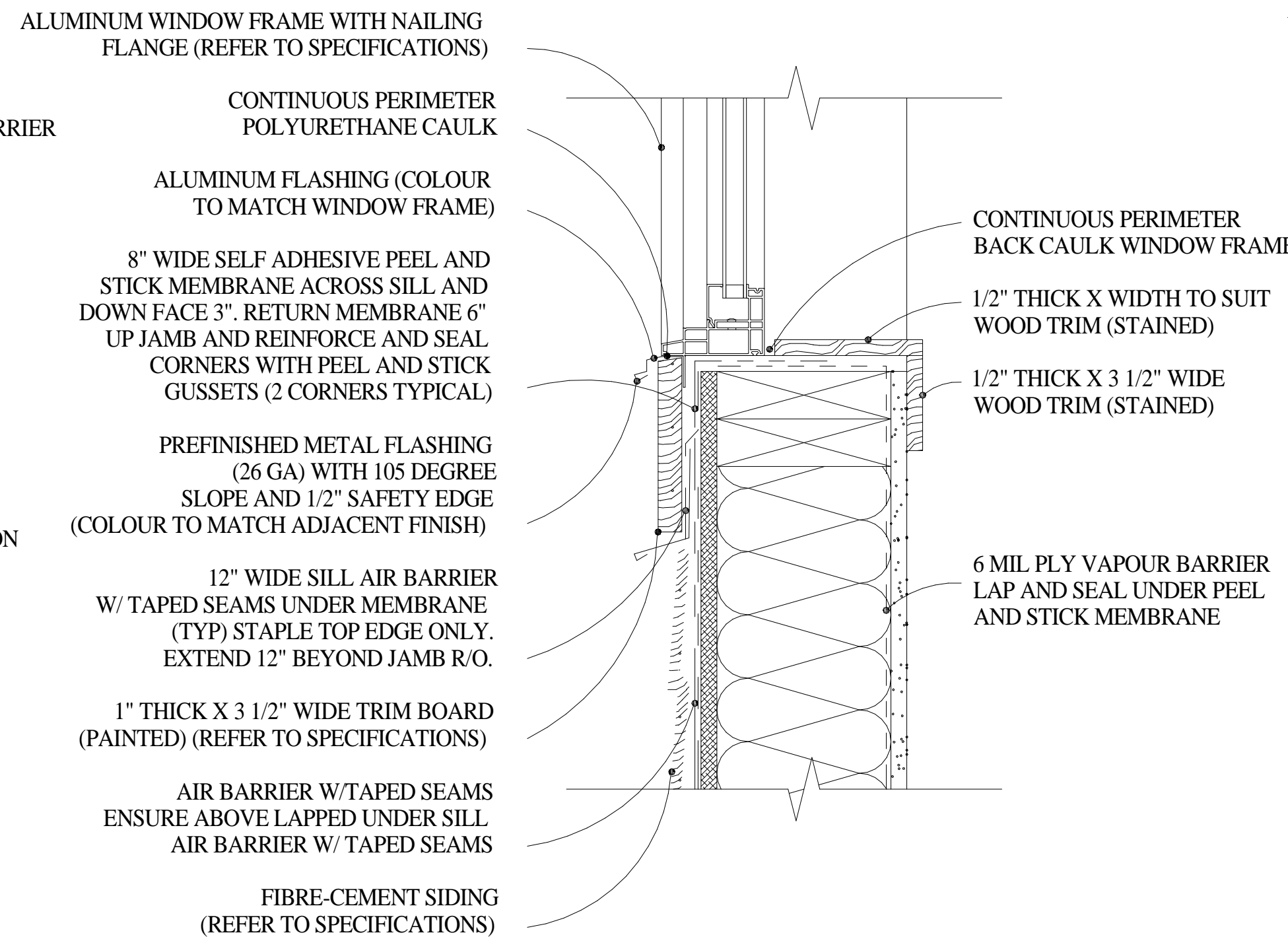
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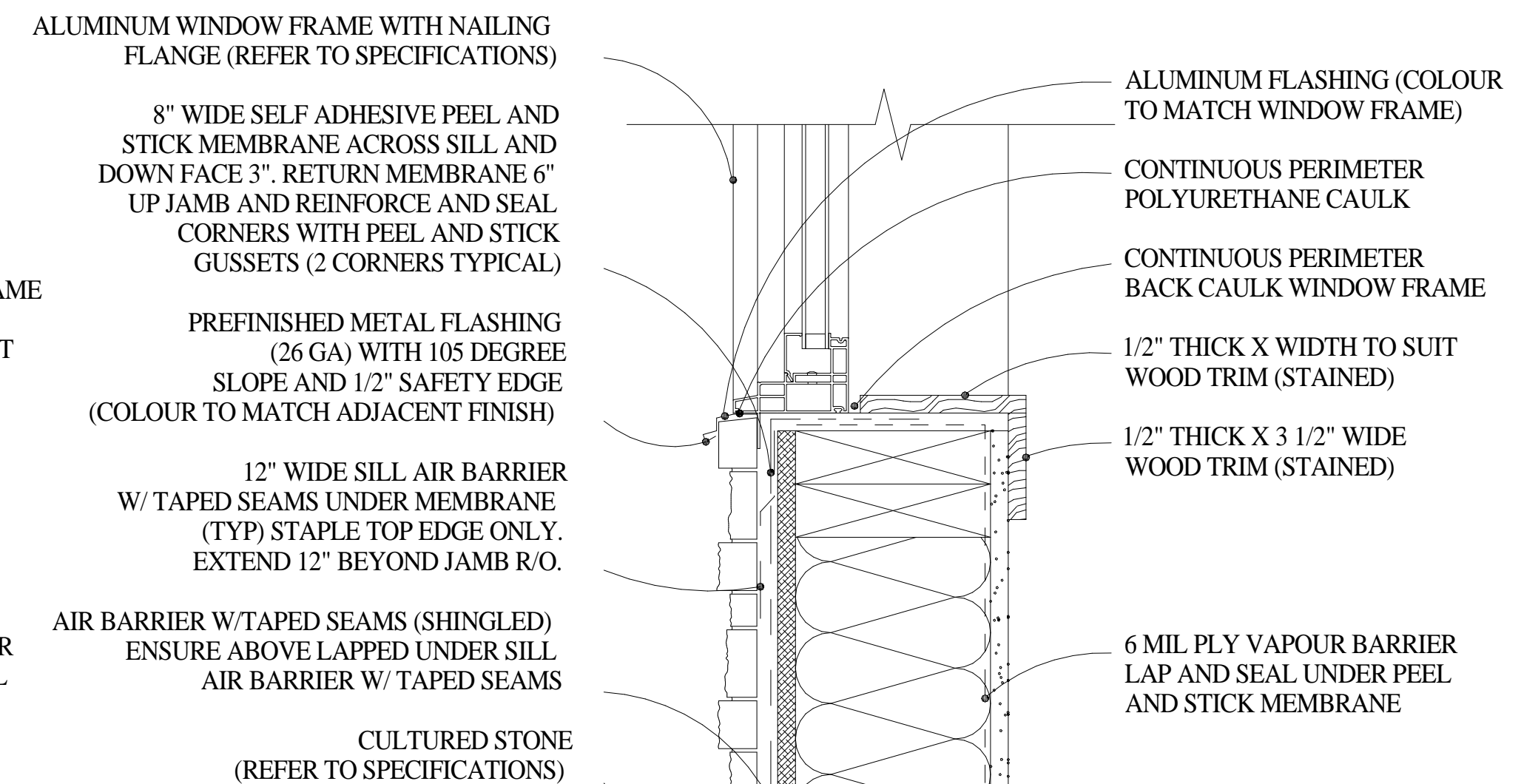
**NAIL ON FLANGE TYPICAL HEAD
DETAIL - FIBRE-CEMENT W/ BORDER**

SCALE: 3" = 1'-0"



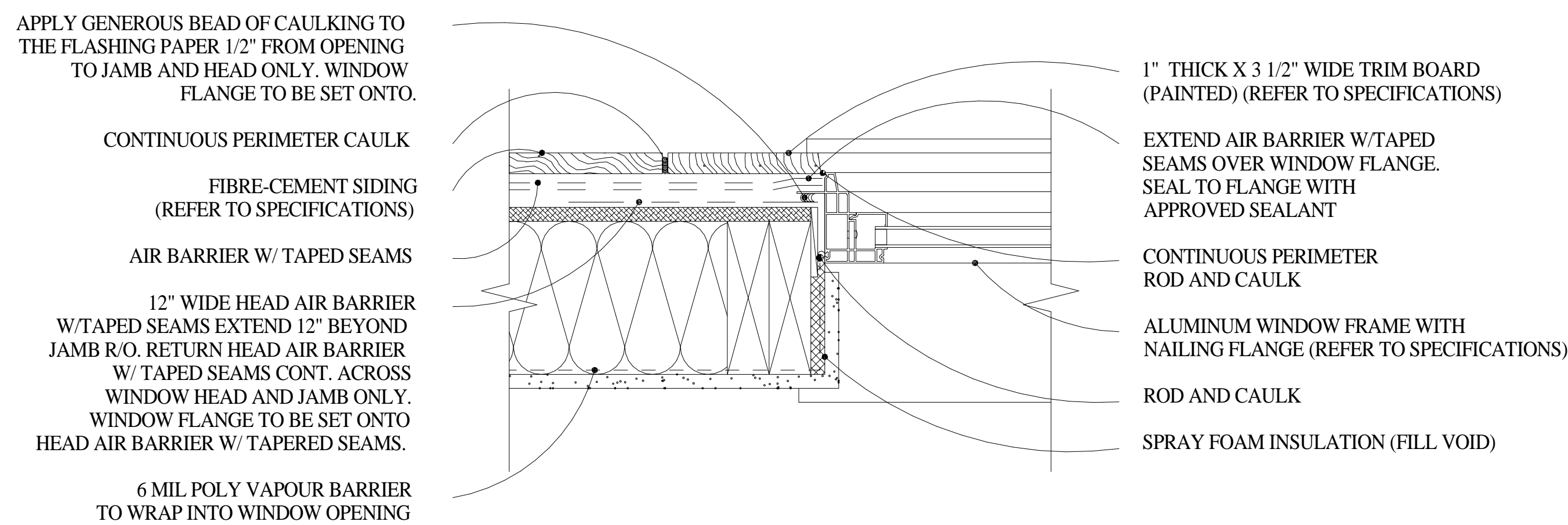
**NAIL ON FLANGE TYPICAL SILL
DETAIL - FIBRE-CEMENT W/ BORDER**

SCALE: 3" = 1'-0"



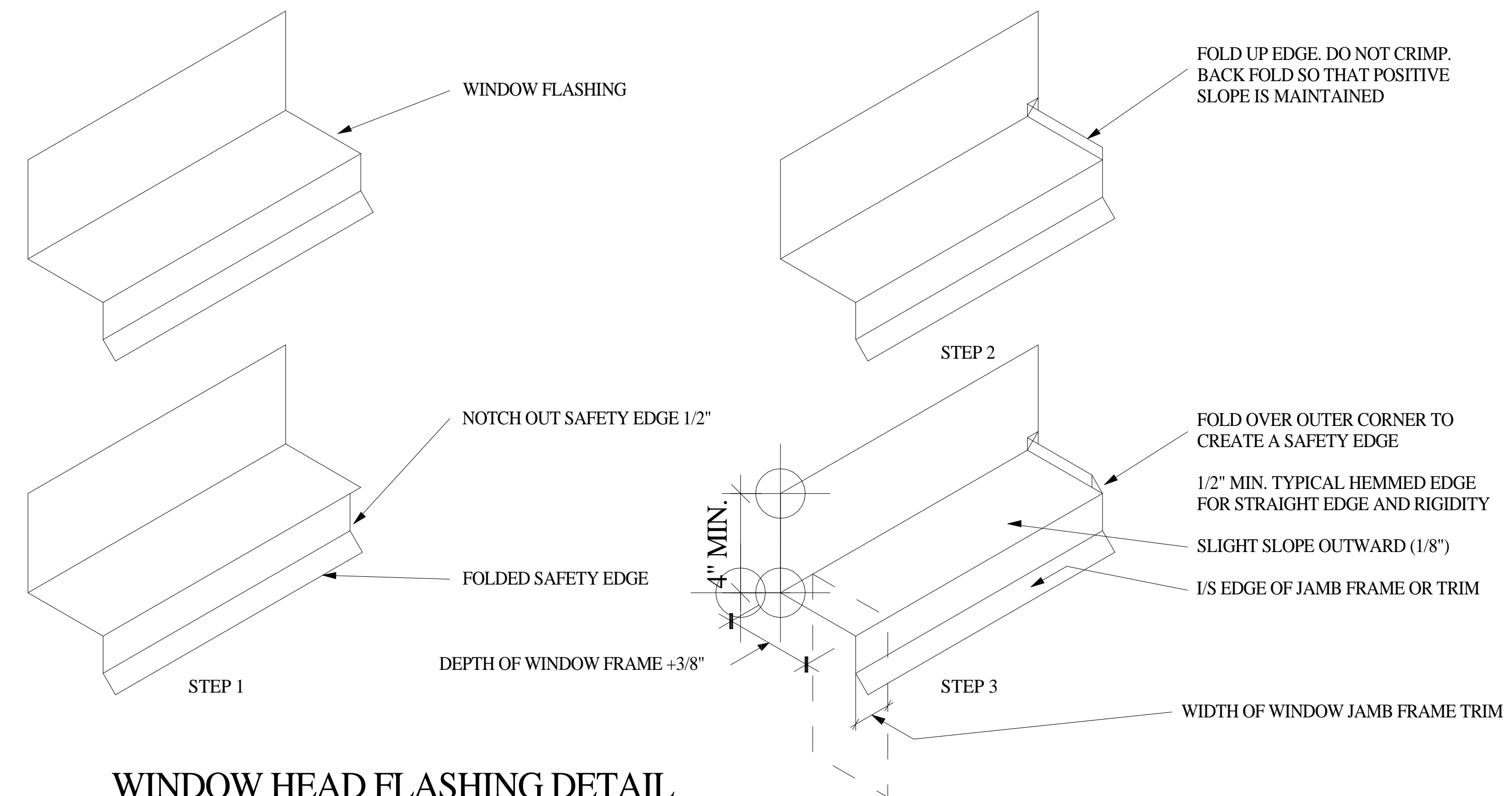
**NAIL ON FLANGE TYPICAL SILL
DETAIL - CULTURED STONE**

SCALE: 3" = 1'-0"



**NAIL ON FLANGE TYPICAL JAMB
DETAIL - FIBRE-CEMENT W/ BORDER**

SCALE: 3" = 1'-0"



WINDOW HEAD FLASHING DETAIL

SCALE: NTS



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The Seasons
Development,
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39 - (Ponderosa)

Head, Jamb, and
Sill Details

Date	Aug 19 2020
Drawn by	cr
Project No.	1935
Scale	3" = 1'-0"

A601

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9.	Revs to BP JULY 08 2020	
10.	Revs to BP JULY 15 2020	
11.	lighting plan Aug 10 2020	
12.	revise to ICF foundation Aug 19 2020	

General Notes

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Builder:

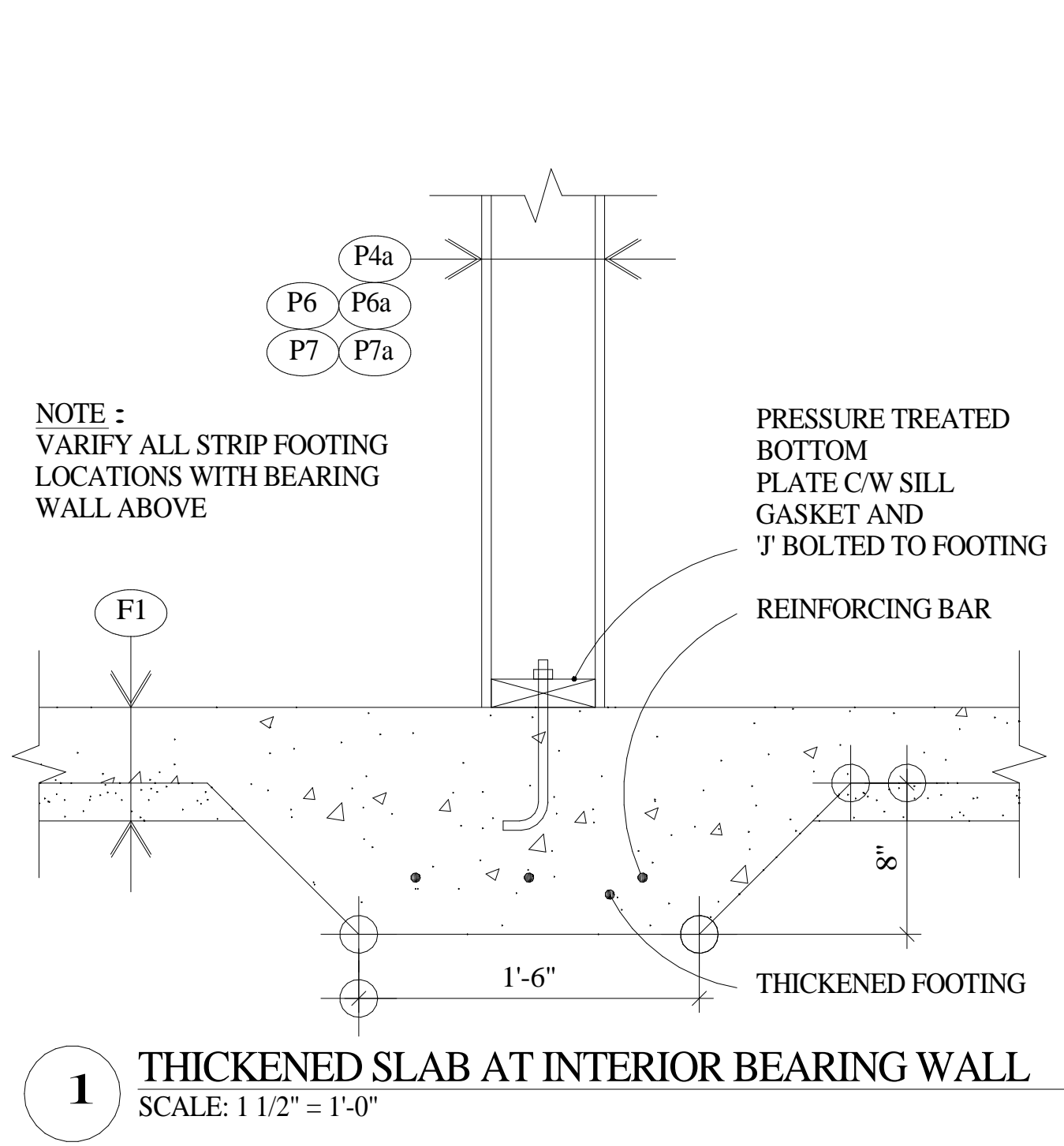
EVERTON RIDGE HOMES LTD.
PO BOX 1867
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V1T 8C3

CONTACT: JACOB KUIKEN
T: 778-932-0900
E: jacob@evertonridge.ca

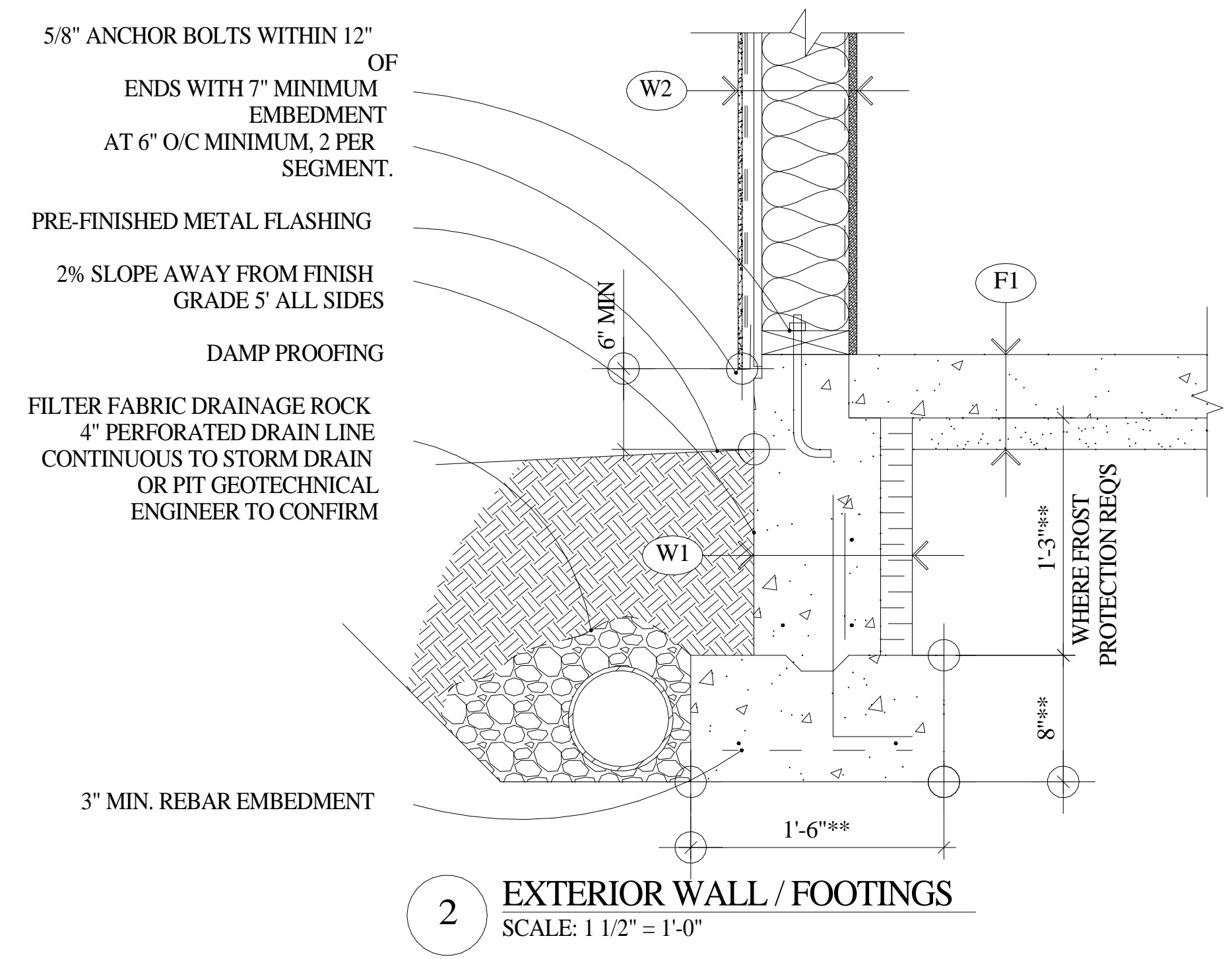
The Seasons Development,
Vernon BC Lot 39 - (Ponderosa)

Miscellaneous Details

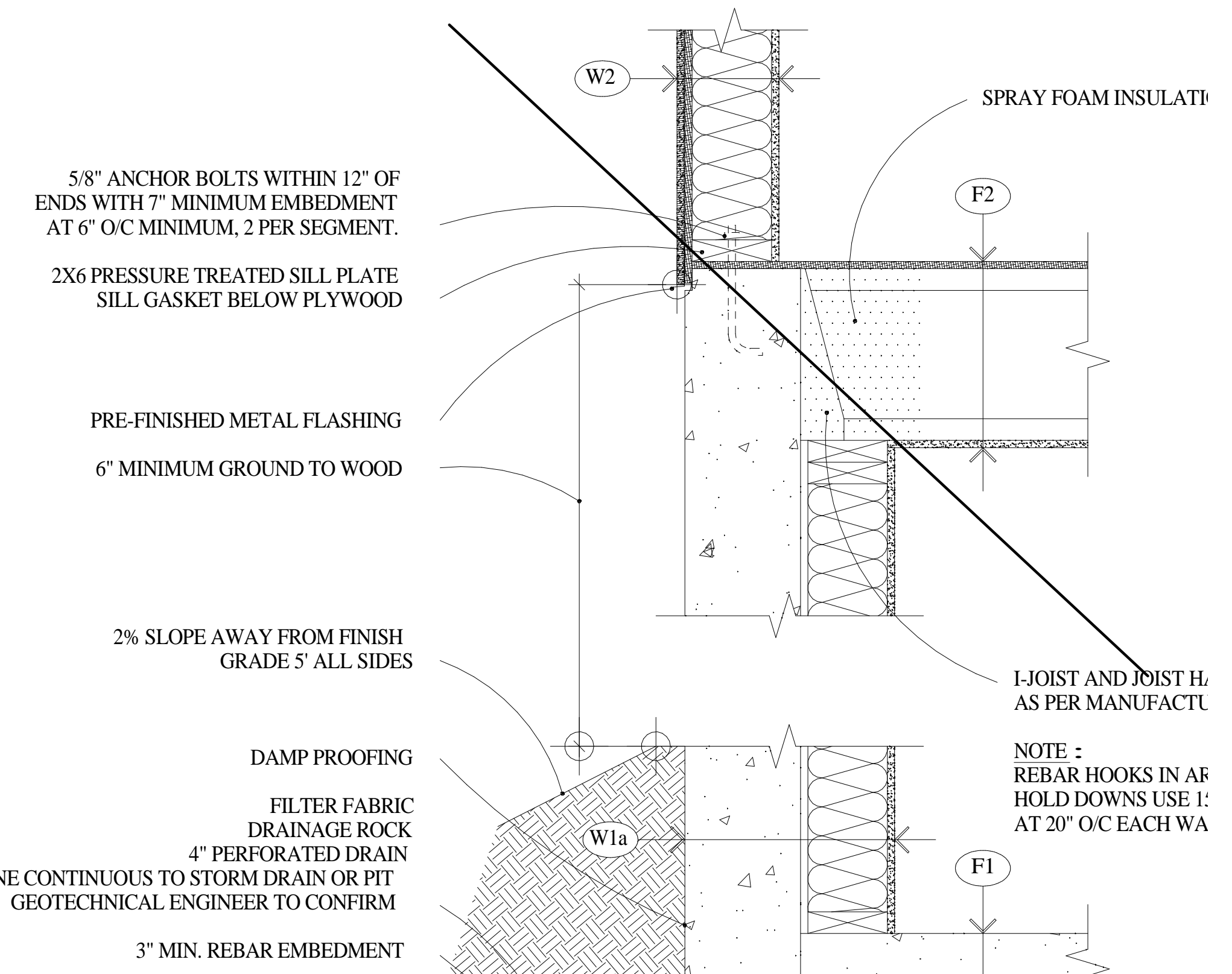
Date	Aug 19 2020
Drawn by	cr
Project No.	1935
Scale	1 1/2" = 1'-0"



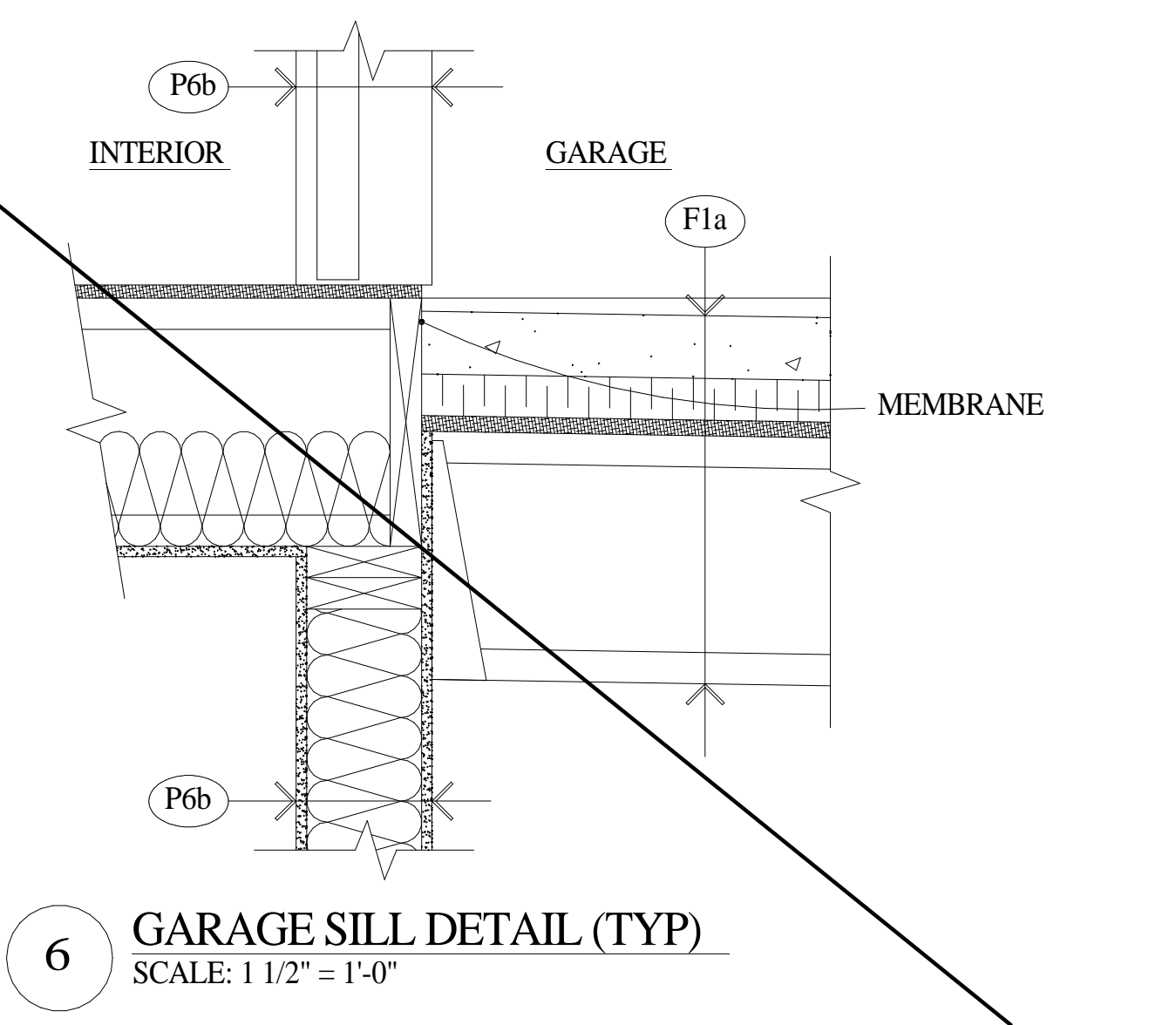
1 THICKENED SLAB AT INTERIOR BEARING WALL
SCALE: 1 1/2" = 1'-0"



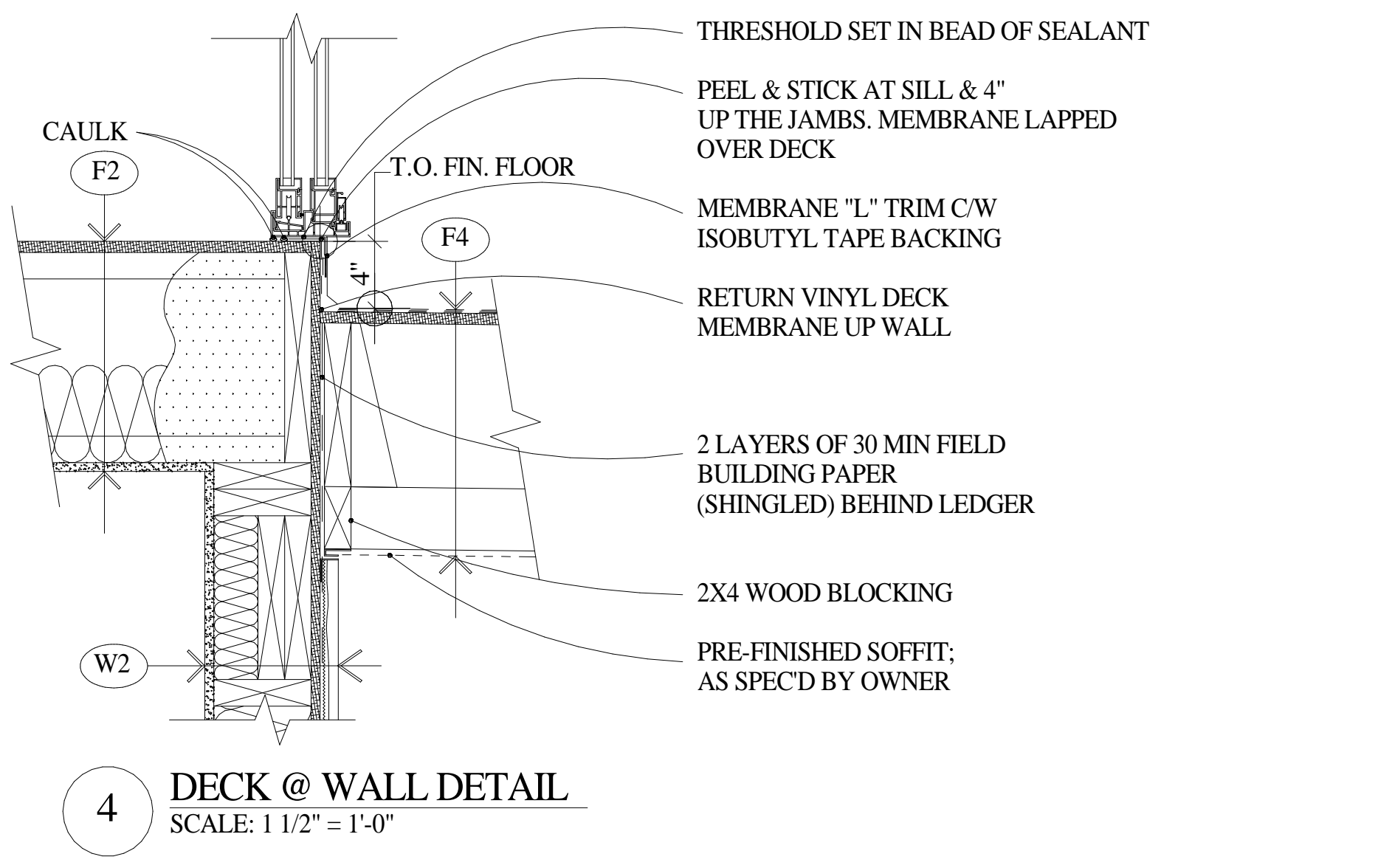
2 EXTERIOR WALL / FOOTINGS
SCALE: 1 1/2" = 1'-0"



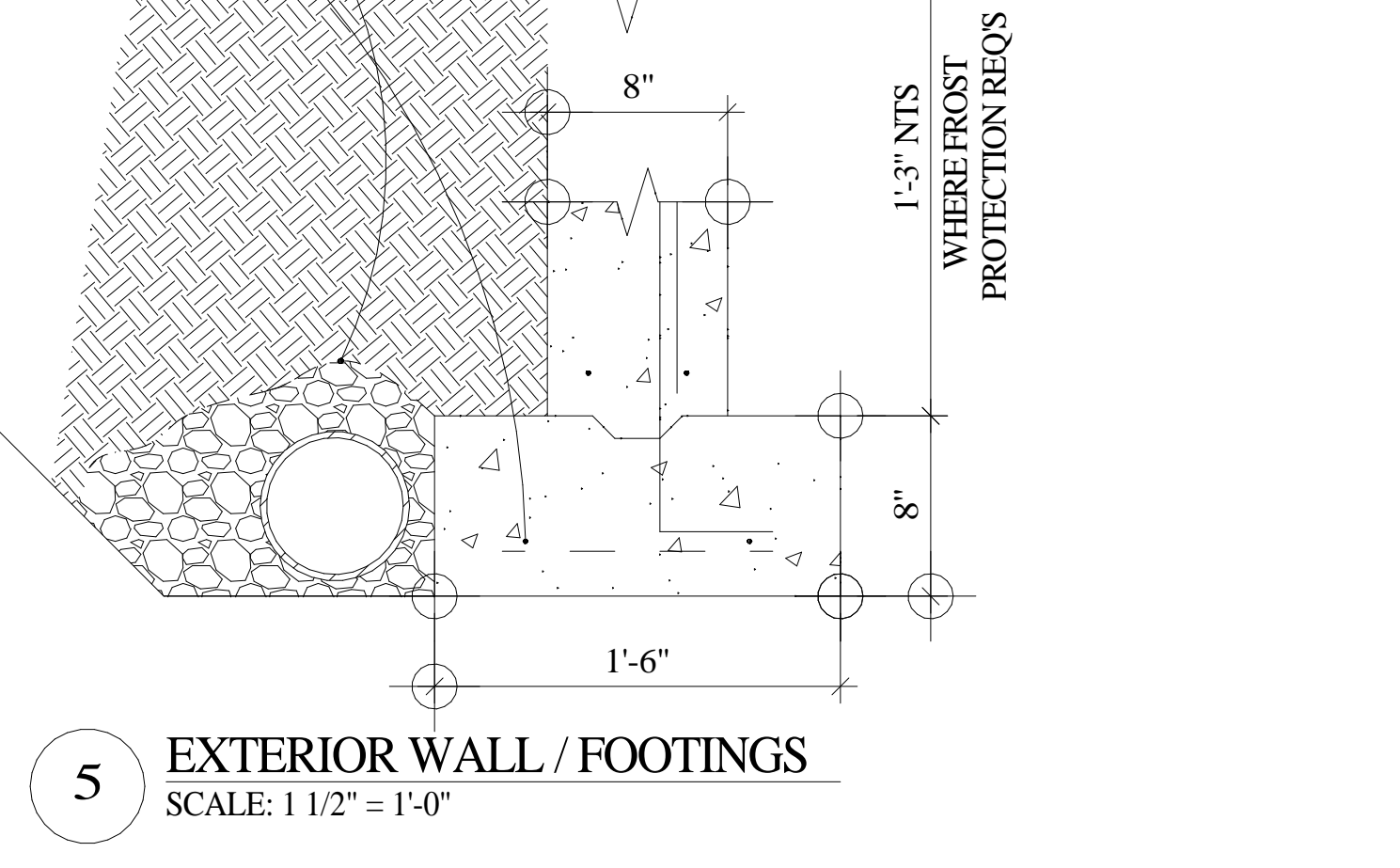
3 TYPICAL SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"



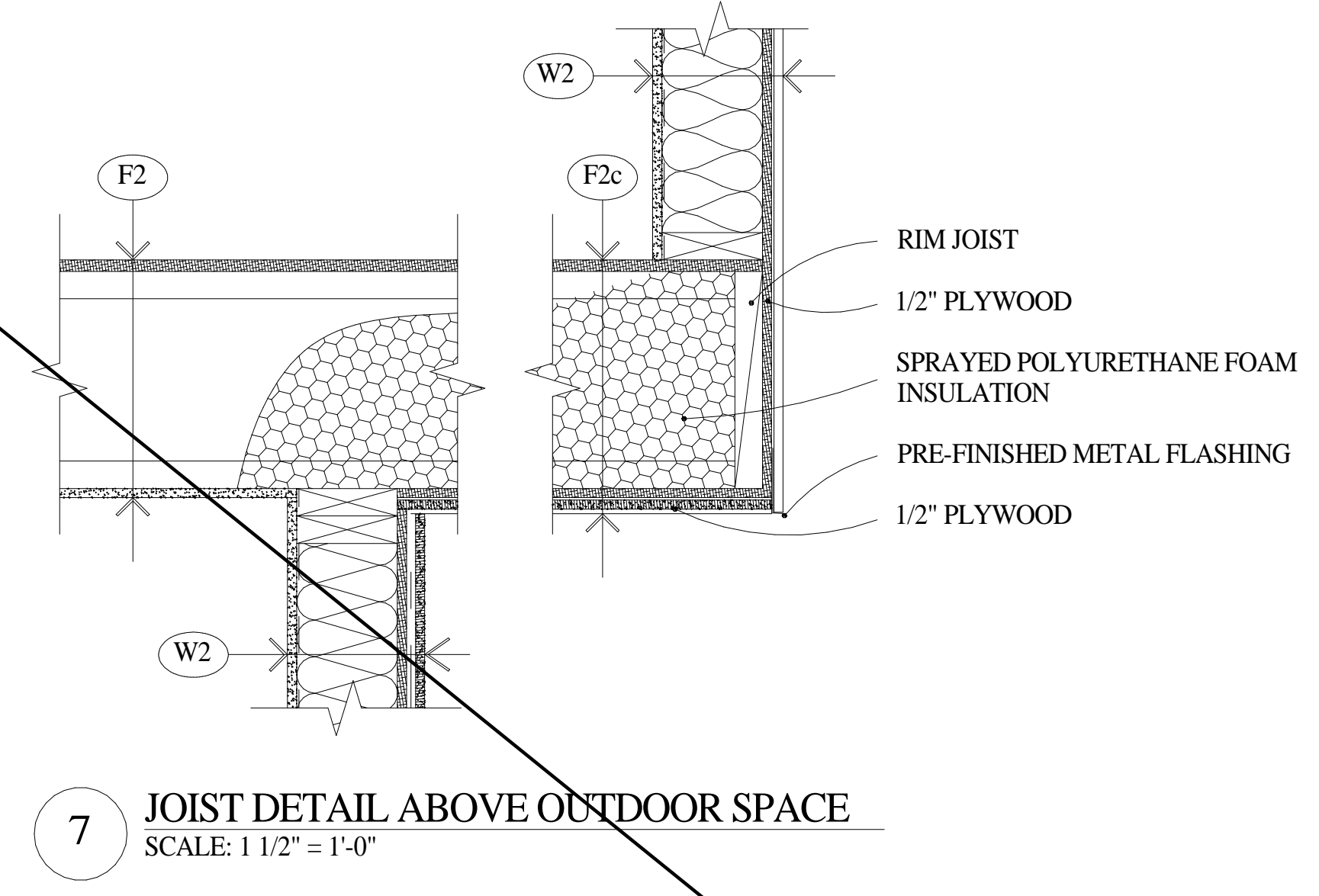
6 GARAGE SILL DETAIL (TYP)
SCALE: 1 1/2" = 1'-0"



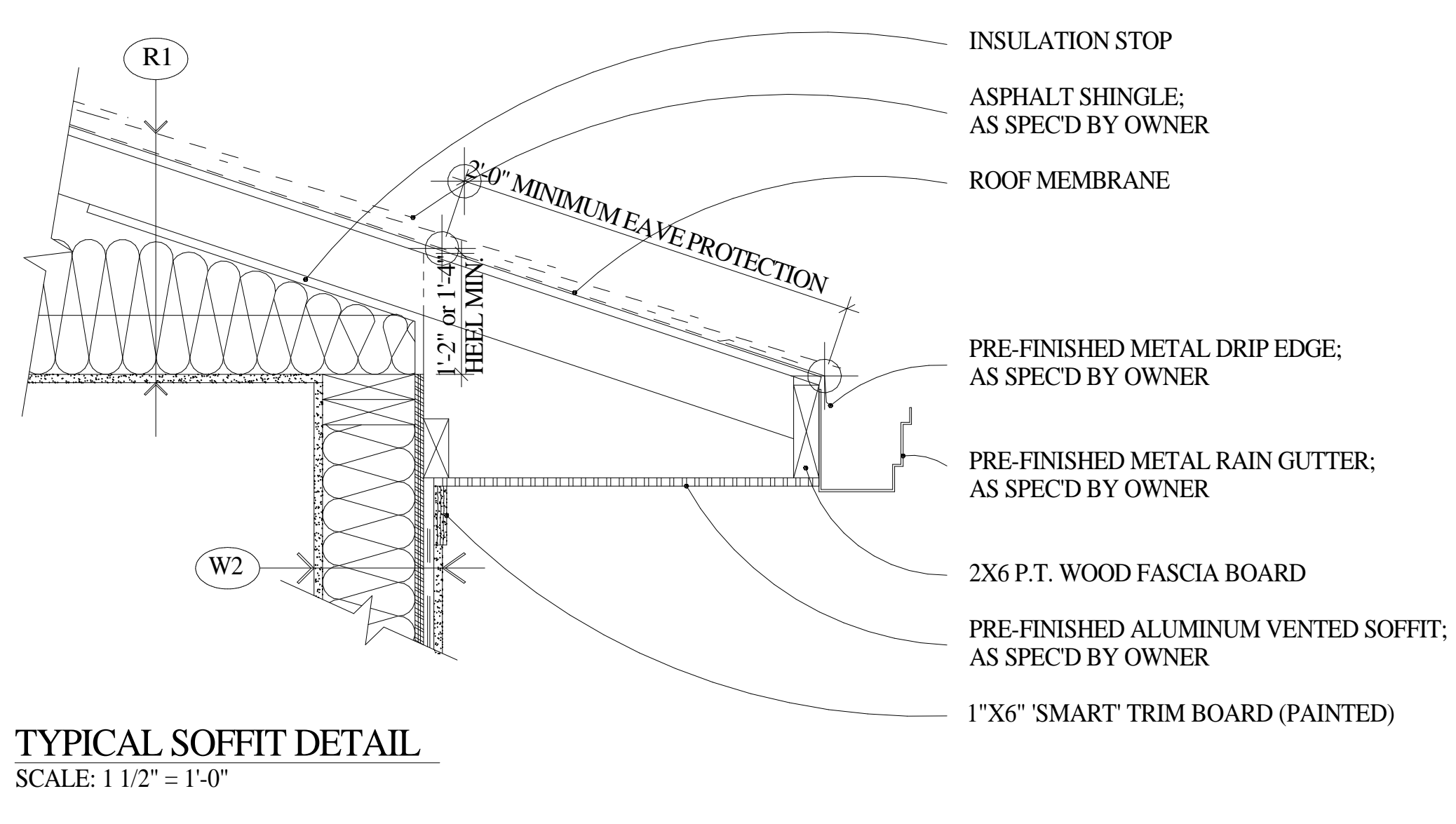
4 DECK @ WALL DETAIL
SCALE: 1 1/2" = 1'-0"



5 EXTERIOR WALL / FOOTINGS
SCALE: 1 1/2" = 1'-0"



7 JOIST DETAIL ABOVE OUTDOOR SPACE
SCALE: 1 1/2" = 1'-0"



3 TYPICAL SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"